

CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



AGENDA

Joint REGULAR Meeting

Wednesday, September 25, 2019 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live on Cox Communications-Channel 19, Spectrum(Time Warner)-Channel 24, and AT&T U-verse Channel 99. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the courtesy agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

SPEAKERS

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set cellular phones and pagers to silent mode
and engage in conversations outside the Council Chambers.

CITY COUNCILMEMBERS

David A. Zito, Mayor

Jewel Edson, Deputy Mayor

Judy Hegenauer, Councilmember

Kristi Becker, Councilmember

Kelly Harless, Councilmember

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT: (when applicable)

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial
None at the posting of this agenda*

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

1. Mira Costa College

ORAL COMMUNICATIONS:

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.8.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for August 10 – September 13, 2019.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. General Fund Adopted Budget for Fiscal Year 2019-2020 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. Emergency Storm Drainpipe Repairs in the Solana Beach Towne Centre Update No. 8. (File 0850-40)

Recommendation: That the City Council

1. Receive Update No. 8 and provide further direction, if necessary.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Council Use Policy – Public Availability of Drinking Water. (File 0230-55)

Recommendation: That the City Council

1. Adopt **Resolution 2019-129**:
 - a. Provide comment and direction and consider formally adopting City Council Policy No. __ increasing the City's commitment to provide public drinking water.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.5. Sewer Pipeline Replacement Project - Notice of Completion (File 1040-36)

Recommendation: That the City Council

1. Adopt **Resolution 2019-113**:
 - a. Authorizing the City Council to accept as complete the 2019 Sewer Pipeline Replacements, Bid 2019-01, performed by DB Pipeline.
 - b. Authorizing the City Clerk to file a Notice of Completion.
2. Adopt **Resolution 2019-123**:
 - a. Receiving this report detailing the specifics of the emergency nature of this project.
 - b. Making a finding, based on substantial evidence set forth in the Staff Report, that the emergency would not permit a delay resulting from a competitive solicitation for bids, and that the action was necessary to respond to the emergency.
 - c. Ratifying the City Manager's decision for the emergency storm drain repairs located along south side of Lomas Santa Fe Drive approximately 200 yards east of Las Banderas Drive under the authority of Section 3.08.060 of the Solana Beach Municipal Code (SBMC) which states that the City Manager may make emergency purchases that exceed \$25,000 in response to conditions that endanger life, health or safety and that those emergency purchases are free from the provisions of Chapter 3.08 of the SBMC.
 - d. Authorizing the City Manager to pay all invoices associated with the emergency storm drain repairs located along south side of Lomas Santa Fe Drive approximately 200 yards east of Las Banderas Drive.

[Item A.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.6. 2019 Street Maintenance and Repair Project. (File 0820-35)

Recommendation: That the City Council

1. Adopt **Resolution 2019-124**:
 - a. Awarding a construction contract for the 2019 Street Maintenance & Repair Project, Bid 2019-04, in the amount of \$381,127, to PAL General Engineering, Inc.
 - b. Approving an amount of \$95,000 for construction contingency.
 - c. Authorizing the City Manager to execute the construction contract on behalf of the City.
 - d. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.

[Item A.6. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.7. Cardiac Monitor Equipment. (File 0260-40)

Recommendation: That the City Council

1. Adopt **Resolution 2019-127**:

- a. Authorizing the City to utilize the Request for Proposals (RFP) approved by the County of Los Angeles awarding Zoll Medical Corporation the contract to provide for the purchase and warranty of cardiac monitors/defibrillators, accessories/supplies, and upgrades.
- b. Authorizing the City Manager to enter into an Agreement with Zoll Medical Corporation for the purchase of three (3) cardiac monitors, one (1) cardiopulmonary resuscitation (CPR) device, enter into a five (5) year service agreement, and approve trade-in of the three (3) existing cardiac monitors in the amount of \$117,688.
- c. Authorizing an appropriation into the County Service Area 17 (CSA-17) revenue and expenditure accounts in the Public Safety Special Revenue fund.
- d. Authorizing the City Treasurer to amend the FY 2019/20 Adopted Budget accordingly.

[Item A.7. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.8. Solana Energy Alliance (SEA) 2018 Power Content Label and Attestation.

(File 1010-40)

Recommendation: That the City Council

1. Attest to the accuracy of information provided in Solana Energy Alliance's 2018 Power Content Label based on Staff's review, consultant input and review and an independent auditor report.

[Item A.8. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1. – B.2.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each. Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 4250 North Lane, Applicant: Brad Fomon, Case 17-19-01.
(File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a Development Review Permit (DRP). Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2019-128** conditionally approving a DRP to demolish a single-family residence, construct a replacement single-story, single-family residence with an attached three-car garage, and perform associated site improvements at 4250 North Lane, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.2. Public Hearing: 336 South Nardo, Applicant: Evan & Afsaneh Cooper, Case 17-19-07. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a Development Review Permit (DRP) and Structure Development Permit (SDP). Therefore, Staff recommends that the City Council:

1. Conduct the continued Public Hearing: Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2019-125** conditionally approving a DRP and SDP to demolish a single-family residence, construct a replacement single-family residence with an attached two-car garage and a second level attached accessory dwelling unit (ADU), and perform associated site improvements at 336 South Nardo Avenue, Solana Beach.

[Item B.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1. - C.5.)

Submit speaker slips to the City Clerk.

C.1. Solana Beach Pump Station Construction Update. (File 1040-30)

Recommendation: That the City Council

1. Adopt **Resolution 2019-126**:
 - a. Authorizing the City Manager to execute a change order with PCL Construction in the amount of \$247,556.
 - b. Authorizing the City Manager to execute an amendment to the Professional Services Agreement with Valley Construction Management in the amount of \$106,235.
 - c. Authorizing the City Manager to execute an amendment to the Professional Services Agreement with Dudek in the amount of \$46,756.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.2. Adopt (2nd Reading) Ordinance 504 - Regulation of Food Service Ware, Polystyrene and Plastic Bottles in Furtherance of Protecting the Environment and Reducing Single-Use Plastics and Waste. (File 0230-55)

Recommendation: That the City Council

1. Adopt **Ordinance 504** amending Solana Beach Municipal Code Title 5 to expand the ban on polystyrene products to address single-use plastics and plastic bottles on City property.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.3. Adopt (2nd Reading) Ordinance 505 – Safe Storage of Firearms. (File 0250-70)

Recommendation: That the City Council

1. Adopt **Ordinance 505** amending Solana Beach Municipal Code Chapter 7.20 to add a new section 7.20.030, relating to the safe storage of firearms.

[Item C.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.4. Citizen Commission Appointments. (File 0120-06)

Recommendation: That the City Council

1. Consider the application(s) submitted and appoint (by Council-at-large) a member to the professional position on the Climate Action Commission with a term expiration date of January 2020.

[Item C.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.5. City Manager Agreement Amendment. (File 0560-30)

Recommendation: That the City Council

1. Adopt **Resolution 2019-130** authorizing the Mayor to execute the Fourth Amendment to the Employment Agreement between the City of Solana Beach and Gregory Wade to reflect the 2.5% increase in base salary, \$2,500 increase towards Deferred Compensation, and allowing the City Manager to use City provided power to charge his vehicle.

[Item C.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 12, 2019

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Edson, Alternate-Zito
- b. County Service Area 17: Primary- Harless, Alternate-Edson
- c. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- d. League of Ca. Cities’ San Diego County Executive Committee: Primary-Becker, Alternate-Harless and any subcommittees.
- e. League of Ca. Cities’ Local Legislative Committee: Primary-Harless, Alternate-Becker
- f. League of Ca. Cities’ Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- g. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- h. North County Transit District: Primary-Edson, Alternate-Becker
- i. Regional Solid Waste Association (RSWA): Primary-Hegenauer, Alternate-Becker
- j. SANDAG: Primary-Zito, 1st Alternate-Edson, 2nd Alternate-Becker, and any subcommittees.
- k. SANDAG Shoreline Preservation Committee: Primary-Hegenauer, Alternate-Zito
- l. San Dieguito River Valley JPA: Primary-Hegenauer, Alternate-Zito
- m. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- n. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Harless

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Hegenauer
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Becker
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Hegenauer
- f. School Relations Committee – Hegenauer, Harless
- g. Solana Beach-Del Mar Relations Committee – Zito, Edson

ADJOURN:

Next Regularly Scheduled Meeting is October 9, 2019

Always refer the City’s website Event Calendar for updated schedule or contact City Hall.

www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

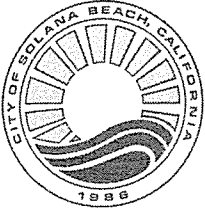
I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the September 25, 2019 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on September 18, 2019 at 5:15 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., September 25, 2019, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
City of Solana Beach,

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, as of this Agenda Posting. Dates, times, locations are all subject to change. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
Thursday, October 17, 2019, 5:30 p.m. (City Hall)
- **Climate Action Commission**
Wednesday, October 16, 2019, 5:30 p.m. (City Hall)
- **Parks & Recreation Commission**
Thursday, October 10, 2019, 4:00 p.m. (Fletcher Cove Community Center)
- **Public Arts Commission**
Tuesday, September 24, 2019, 5:30 p.m. (City Hall)
- **View Assessment Commission**
Tuesday, October 15, 2019, 6:00 p.m. (Council Chambers)



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 08/10/19 through 09/13/19		
Check Register-Disbursement Fund (Attachment 1)		\$ 1,609,273.69
Net Payroll	August 23, 2019	200,078.85
Federal & State Taxes	August 23, 2019	51,380.44
PERS Retirement (EFT)	August 23, 2019	46,460.19
Retirement Payroll	August 27, 2019	9,732.00
Health Insurance for September	September 3, 2019	43,694.51
Net Payroll	September 6, 2019	224,881.96
Federal & State Taxes	September 6, 2019	58,302.71
PERS Retirement (EFT)	September 6, 2019	42,343.76
TOTAL		\$ 2,286,148.11

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for August 10, 2019 through September 13, 2019 reflects total expenditures of \$2,286,148.11 from various City funding sources.

CITY COUNCIL ACTION: _____

WORK PLAN:

N/A

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund

PENTAMATION
DATE: 09/11/2019
TIME: 08:33:23

CITY OF SOLANA BEACH, CA
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20190810 00:00:00.000' and '20190913 00:00:00.000'
ACCOUNTING PERIOD: 3/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95534	08/12/19		550		0.00	51.54
1011	95535	08/12/19		550		0.00	741.00
1011	95536	08/12/19		550		0.00	6.81
1011	95537	08/12/19		550		0.00	11.10
1011	95538	08/12/19		550		0.00	37.91
1011	95539	08/12/19		550		0.00	28.52
1011	95540	08/12/19		550		0.00	177.71
1011	95541	08/12/19		550		0.00	96.12
1011	95542	08/12/19		550		0.00	36.12
1011	95543	08/12/19		550		0.00	46.12
1011	95544	08/12/19		550		0.00	148.38
1011	95545	08/12/19		550		0.00	2.88
1011	95546	08/12/19		550		0.00	9.78
1011	95547	08/12/19		550		0.00	221.91
1011	95548	08/12/19		550		0.00	85.46
1011	95549	08/12/19		550		0.00	146.43
1011	95550	08/12/19		550		0.00	74.58
1011	95551	08/12/19		550		0.00	52.00
1011	95552	08/12/19		550		0.00	48.58
1011	95553	08/12/19		550		0.00	67.40
1011	95554	08/12/19		550		0.00	206.52
1011	95555	08/12/19		550		0.00	12.06
1011	95556	08/12/19		550		0.00	124.87
1011	95557	08/12/19		550		0.00	34.64
1011	95558	08/12/19		550		0.00	35.08
1011	95559	08/12/19		550		0.00	66.67

PENTAMATION
DATE: 09/11/2019
TIME: 08:33:23

CITY OF SOLANA BEACH, CA
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2
ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20190810 00:00:00.000' and '20190913 00:00:00.000'
ACCOUNTING PERIOD: 3/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95560	08/12/19			550		0.00	45.12
1011	95561	08/12/19			550		0.00	32.46
1011	95562	08/12/19			550		0.00	105.88
1011	95563	08/12/19			550		0.00	5.40
1011	95564	08/12/19			550		0.00	6.63
1011	95565	08/12/19			550		0.00	107.16
1011	95566	08/12/19			550		0.00	10.96
1011	95567	08/12/19			550		0.00	43.50
1011	95568	08/12/19			550		0.00	24.55
1011	95569	08/12/19			550		0.00	55.23
1011	95570	08/12/19			550		0.00	53.49
1011	95571	08/12/19			550		0.00	54.48
1011	95572	08/12/19			550		0.00	119.76
1011	95573	08/12/19			550		0.00	10.52
1011	95574	08/12/19			550		0.00	15.12
1011	95575	08/12/19			550		0.00	220.44
1011	95576	08/12/19			550		0.00	54.98
1011	95577	08/12/19			550		0.00	48.95
1011	95578	08/12/19			550		0.00	137.16
1011	95579	08/12/19			550		0.00	84.49
1011	95580	08/12/19			550		0.00	7.59
1011	95581	08/12/19			550		0.00	71.57
1011	95582	08/12/19			550		0.00	162.89
1011	95583	08/12/19			550		0.00	46.44
1011	95584	08/12/19			550		0.00	19.80
1011	95585	08/12/19			550		0.00	10.63

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95586	08/12/19		550		0.00	78.33
1011	95587	08/12/19		550		0.00	116.22
1011	95588	08/12/19		550		0.00	77.31
1011	95589	08/12/19		550		0.00	77.16
1011	95590	08/12/19		550		0.00	413.56
1011	95591	08/12/19		550		0.00	56.74
1011	95592	08/12/19		550		0.00	380.46
1011	95593	08/12/19		550		0.00	61.55
1011	95594	08/12/19		550		0.00	325.80
1011	95595	08/12/19		550		0.00	7.78
1011	95596	08/12/19		550		0.00	3.66
1011	95597	08/12/19		550		0.00	41.67
1011	95598	08/12/19		550		0.00	54.15
1011	95599	08/12/19		550		0.00	13.31
1011	95600	08/12/19		550		0.00	7.98
1011	95601	08/12/19		550		0.00	239.40
1011	95602	08/12/19		550		0.00	21.12
1011	95603	08/12/19		550		0.00	75.18
1011	95604	08/12/19		550		0.00	171.06
1011	95605	08/12/19		550		0.00	240.52
1011	95606	08/12/19		550		0.00	114.12
1011	95607	08/12/19		550		0.00	22.26
1011	95608	08/12/19		550		0.00	19.57
1011	95609	08/12/19		550		0.00	102.21
1011	95610	08/12/19		550		0.00	91.50
1011	95611	08/12/19		550		0.00	225.98

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95612	08/12/19		550		0.00	22.03
1011	95613	08/12/19		550		0.00	109.62
1011	95614	08/12/19		550		0.00	146.91
1011	95615	08/12/19		550		0.00	133.56
1011	95616	08/12/19		550		0.00	213.13
1011	95617	08/12/19		550		0.00	107.88
1011	95618	08/12/19		550		0.00	59.40
1011	95619	08/12/19		550		0.00	103.28
1011	95620	08/12/19		550		0.00	272.08
1011	95621	08/12/19		550		0.00	185.32
1011	95622	08/12/19		550		0.00	47.04
1011	95623	08/12/19		550		0.00	91.67
1011	95624	08/12/19		550		0.00	167.64
1011	95625	08/12/19		550		0.00	217.44
1011	95626	08/12/19		550		0.00	276.06
1011	95627	08/12/19		550		0.00	90.21
1011	95628	08/12/19		550		0.00	8.22
1011	95629	08/12/19		550		0.00	78.94
1011	95630	08/12/19		550		0.00	27.83
1011	95631	08/12/19		550		0.00	11.15
1011	95632	08/12/19		550		0.00	39.06
1011	95633	08/12/19		550		0.00	16.96
1011	95634	08/12/19		550		0.00	27.54
1011	95635	08/12/19		550		0.00	57.60
1011	95636	08/12/19		550		0.00	79.20
1011	95637	08/12/19		550		0.00	15.24

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95638	08/12/19			550		0.00	14.52
1011	95639	08/12/19			550		0.00	35.16
1011	95640	08/12/19			550		0.00	29.43
1011	95641	08/12/19			550		0.00	147.00
1011	95642	08/12/19			550		0.00	27.13
1011	95643	08/12/19			550		0.00	96.93
1011	95644	08/12/19			550		0.00	9.65
1011	95645	08/12/19			550		0.00	80.79
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00170007110	AUTO FUEL-07/03-08/02	0.00	56.59
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00165006560	AUTO FUEL-07/03-08/02	0.00	78.58
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00165006570	AUTO FUEL-07/03-08/02	0.00	130.96
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00165006510	AUTO FUEL-07/03-08/02	0.00	144.05
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	50900007700	AUTO FUEL-07/03-08/02	0.00	157.15
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00160006140	AUTO FUEL-07/03-08/02	0.00	225.54
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00165006530	AUTO FUEL-07/03-08/02	0.00	379.79
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00160006120	AUTO FUEL-07/03-08/02	0.00	384.86
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00165006520	AUTO FUEL-07/03-08/02	0.00	419.07
1011	95646	08/15/19	3704	ARCO GASPRO PLUS	00160006170	AUTO FUEL-07/03-08/02	0.00	931.00
TOTAL CHECK								2,907.59
1011	95647	08/15/19	4832	AT&T CALNET 3	00160006120	9391012280 06/24-7/23	0.00	416.04
1011	95647	08/15/19	4832	AT&T CALNET 3	00150005450	9391012282 6/24-7/23	0.00	20.08
1011	95647	08/15/19	4832	AT&T CALNET 3	00150005450	9391053641 06/24-7/23	0.00	164.69
1011	95647	08/15/19	4832	AT&T CALNET 3	00150005450	9391062899 6/24-7/23	0.00	164.69
1011	95647	08/15/19	4832	AT&T CALNET 3	00160006170	9391012281 CRDT OVRCH	0.00	-514.63
1011	95647	08/15/19	4832	AT&T CALNET 3	00160006170	9391012281 4/25-5/24	0.00	63.65
1011	95647	08/15/19	4832	AT&T CALNET 3	00160006170	9391012281 2/25-03/24	0.00	63.75
1011	95647	08/15/19	4832	AT&T CALNET 3	00160006170	9391012281 03/25-4/24	0.00	64.14
1011	95647	08/15/19	4832	AT&T CALNET 3	00160006170	9391012281 5/25-6/24	0.00	343.47
TOTAL CHECK								785.88
1011	95648	08/15/19	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-JUL	0.00	1,462.50
1011	95649	08/15/19	263	BOOT WORLD, INC.	00165006520	BOOTS-BLEA/PERZ/BORRO	0.00	140.49
1011	95649	08/15/19	263	BOOT WORLD, INC.	00165006530	BOOTS-BLEA/PERZ/BORRO	0.00	140.49
1011	95649	08/15/19	263	BOOT WORLD, INC.	00165006560	BOOTS-BLEA/PERZ/BORRO	0.00	140.50
TOTAL CHECK								421.48
1011	95650	08/15/19	4602	SAM CASTELLANO	25055005570	CONCERT COVE-08/15/19	0.00	300.00
1011	95650	08/15/19	4602	SAM CASTELLANO	25055005570	CONCERTS SOUND-FY20	0.00	2,450.00
TOTAL CHECK								2,750.00
1011	95651	08/15/19	1022	COUNTY REGISTRAR OF VOTE	00150005150	FY19SPC ELCTN-05/7/19	0.00	56,529.00

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1011	95652	08/15/19	2165	CULLIGAN OF SAN DIEGO	00160006170	DRNKNG WTR SVC-AUG	0.00	45.56	
1011	95652	08/15/19	2165	CULLIGAN OF SAN DIEGO	00160006170	DRNKNG WTR SVC-JUL	0.00	45.56	
TOTAL CHECK								0.00	91.12
1011	95653	08/15/19	108	DEL MAR BLUE PRINT COMPA	00150005150	66 CEDROS PARK	0.00	121.71	
1011	95653	08/15/19	108	DEL MAR BLUE PRINT COMPA	00150005150	GIBSON & HMP'N PLANS	0.00	125.04	
1011	95653	08/15/19	108	DEL MAR BLUE PRINT COMPA	00150005150	RR:W-1844 SEASCAPE	0.00	60.31	
TOTAL CHECK								0.00	307.06
1011	95654	08/15/19	134	DIXIELINE LUMBER CO INC	00165006570	PAINT/BRUSH	0.00	59.24	
1011	95654	08/15/19	134	DIXIELINE LUMBER CO INC	00165006570	TOLIET/WAX	0.00	518.62	
1011	95654	08/15/19	134	DIXIELINE LUMBER CO INC	00165006570	RPND LUMBER	0.00	-108.21	
1011	95654	08/15/19	134	DIXIELINE LUMBER CO INC	00165006570	TARP	0.00	9.00	
TOTAL CHECK								0.00	478.65
1011	95655	08/15/19	372	EMPLOYMENT DEVELOPMENT D	00150005400	SUI PE 06/30/19	0.00	651.00	
1011	95656	08/15/19	825	EMERGENCY MEDICAL PRODUC	27060006170	FIRST AID SUPPLIES-MS	0.00	507.29	
1011	95657	08/15/19	5492	GROSSMONT ORTHOPEDIC GRO	00150005400	DR. REPORT	0.00	250.00	
1011	95658	08/15/19	2887	LANCE,SOLL & LUNGHARD, L	00150005300	FY19 AUDIT SVC	0.00	11,800.00	
1011	95659	08/15/19	5407	PJ CASTORENA, INC.	55000007750	CCA WKY ENRL7/22&7/29	0.00	91.66	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	-32.67	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	-18.38	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	-18.38	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	-16.33	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	-9.91	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	-5.57	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	-5.57	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	-4.95	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	-4.08	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	-1.24	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	5.32	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	21.29	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	23.95	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	23.95	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	42.57	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.17	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.22	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.22	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.25	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.29	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.70	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.89	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.89	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.99	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	9.17	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	9.79	
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	9.79	

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	10.00
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	10.00
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	10.00
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	10.00
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	10.10
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	10.11
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	10.32
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	10.33
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	17.40
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	17.78
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	17.78
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	17.97
1011	95661	08/15/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	18.35
TOTAL CHECK							0.00	245.51
1011	95662	08/15/19	5564	MUFG UNION BANK 2011 SEJ	509	LESS REV FUND BAL 9/1	0.00	-48.92
1011	95662	08/15/19	5564	MUFG UNION BANK 2011 SEJ	50900007700	2011 SEJPA INT 9/1	0.00	1,616.88
TOTAL CHECK							0.00	1,567.96
1011	95663	08/15/19	5565	MUFG UNION BANK 2017 SEJ	50900007700	2017 SEPJA INT 3/1	0.00	225,693.75
1011	95664	08/15/19	5563	MUFG UNION BANK WW REV B	509	LESS CASH ON HAND 9/1	0.00	-24.63
1011	95664	08/15/19	5563	MUFG UNION BANK WW REV B	50900007700	SWR REV BND INT 9/1	0.00	112,478.13
TOTAL CHECK							0.00	112,453.50
1011	95665	08/15/19	4522	NISSHO OF CALIFORNIA	00165006560	LC MAINLINE LEAK	0.00	604.59
1011	95665	08/15/19	4522	NISSHO OF CALIFORNIA	00165006560	FC SPRINKLER REPAIR	0.00	370.02
1011	95665	08/15/19	4522	NISSHO OF CALIFORNIA	00165006560	PLANTS @ STEVENS HOUS	0.00	423.50
TOTAL CHECK							0.00	1,398.11
1011	95666	08/15/19	4080	JENNIFER REED	00150005350	ADMIN SVC-JUL	0.00	297.00
1011	95667	08/15/19	5730	RUTH VOORHIES	001	RFND-SBGR352/732 CAST	0.00	2,598.80
1011	95668	08/15/19	5749	SAN DIEGO REAL ESTATE IN	001	RFND-SBGR 300/823VERA	0.00	106,506.00
1011	95669	08/15/19	169	SDG&E CO INC	55000007750	SEA CCA SVC-JUN	0.00	2,290.54
1011	95670	08/15/19	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUN	0.00	775.00
1011	95670	08/15/19	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC RTRNS & DUCT CLN	0.00	3,600.00
TOTAL CHECK							0.00	4,375.00
1011	95671	08/15/19	156	SHARP REES-STEALY MEDICA	00150005400	PRE-EMPLOYMENT SCREEN	0.00	1,112.00
1011	95672	08/15/19	31	SOLANA BEACH CHAMBER OF	25055005570	Q4 VISITOR CENTER	0.00	3,750.00
1011	95673	08/15/19	450	SWRCB	450	9441.09 TRASH ENC RTN	0.00	1,110.00
1011	95673	08/15/19	450	SWRCB	450	9441.09 TRASH ENC RTN	0.00	-1,110.00
TOTAL CHECK							0.00	0.00
1011	95674	08/15/19	5427	TOSDAL LAW FIRM	55000007750	SEA PROF SVC-JUN	0.00	4,055.00

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95675	08/15/19	5379	TRACY RICHMOND	25055005570	MOVIE NIGHT START UP	0.00	300.00
1011	95676	08/15/19	40	UNDERGROUND SVC ALERT OF	00165006510	DIG ALERT-JULY	0.00	118.90
1011	95676	08/15/19	40	UNDERGROUND SVC ALERT OF	00165006510	CA ST REGLTRY-AUG	0.00	46.16
TOTAL CHECK								165.06
1011	95677	08/15/19	2097	UT SAN DIEGO - NRTH COUN	00150005150	CITZEN COMM ADVERT	0.00	250.00
1011	95678	08/15/19	30	VERIZON WIRELESS-SD	00150005450	IT CELL 06/24-07/23	0.00	152.04
1011	95679	08/15/19	2823	WELLS FARGO BANK	67185008510	BRB/GRN UUG 6/19-6/20	0.00	1,750.00
1011	95679	08/15/19	2823	WELLS FARGO BANK	67285008520	PACIFIC UUG 6/19-6/20	0.00	750.00
TOTAL CHECK								2,500.00
1011	95680	08/15/19	4503	WESS TRANSPORTATION SERV	25570007110	CAMP FLD TRP-07/16	0.00	440.94
1011	95681	08/21/19	4832	AT&T CALNET 3	00150005450	9391012278 06/24-7/23	0.00	3,197.56
1011	95681	08/21/19	4832	AT&T CALNET 3	00150005450	9391012278 SETUP FEES	0.00	666.26
TOTAL CHECK								3,863.82
1011	95682	08/21/19	2526	BARTEL ASSOCIATES, LLC	00150005300	FY20/FY21 PRJCTN MEMO	0.00	1,000.00
1011	95683	08/21/19	2555	BOB HOFFMAN VIDEO PRODUC	00150005450	COUNCIL MTG-2/27-6/26	0.00	2,700.00
1011	95683	08/21/19	2555	BOB HOFFMAN VIDEO PRODUC	00150005450	COUNCIL MTG-2/27-6/26	0.00	5,780.00
TOTAL CHECK								8,480.00
1011	95684	08/21/19	141	SANTA FE IRRIGATION DIST	00165006560	005979005 0601-080119	0.00	242.16
1011	95684	08/21/19	141	SANTA FE IRRIGATION DIST	50900007700	005979008 0601-080119	0.00	85.08
1011	95684	08/21/19	141	SANTA FE IRRIGATION DIST	20475007520	GRP 5-25 06/01-08/01	0.00	4,971.87
TOTAL CHECK								5,299.11
1011	95685	08/22/19	4706	24 HOUR ELEVATOR, INC	00165006570	ELVTR MAINT-JUL	0.00	163.78
1011	95686	08/22/19	4711	ABEL PEREZ	00165006560	MILEAGE-08/11/19	0.00	8.12
1011	95687	08/22/19	5137	ABLE PATROL & GUARD, INC	00170007110	FCCC SECURITY-JUL	0.00	125.00
1011	95688	08/22/19	1135	AFFORDABLE PIPELINE SERV	50900007700	J-SEWER CLEANING	0.00	575.00
1011	95688	08/22/19	1135	AFFORDABLE PIPELINE SERV	00165006520	H-STORM DRAIN MAINT	0.00	1,140.00
TOTAL CHECK								1,715.00
1011	95689	08/22/19	1122	APPLE ONE, INC	00150005150	TEMP HELP PE 07/20	0.00	243.27
1011	95689	08/22/19	1122	APPLE ONE, INC	00150005150	TEMP HELP PE 08/03	0.00	256.52
1011	95689	08/22/19	1122	APPLE ONE, INC	00150005150	TEMP HELP PE 07/27	0.00	513.03
TOTAL CHECK								1,012.82
1011	95690	08/22/19	4832	AT&T CALNET 3	50900007700	9391012277 06/24-7/23	0.00	13.41
1011	95690	08/22/19	4832	AT&T CALNET 3	00165006540	9391012279 06/24-7/23	0.00	44.54
TOTAL CHECK								57.95
1011	95691	08/22/19	5611	BELLAKAI CONSTRUCTION	450	9441.09 TRASH ENC RTN	0.00	1,110.00

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95692	08/22/19	5029	BILL SMITH FOREIGN CAR S	00160006170	FRNTR-AIR MASS SENSOR	0.00	276.56
1011	95692	08/22/19	5029	BILL SMITH FOREIGN CAR S	00165006530	F-150-ALTNTR/TRANSMSN	0.00	250.46
1011	95692	08/22/19	5029	BILL SMITH FOREIGN CAR S	00165006560	F-150-ALTNTR/TRANSMSN	0.00	250.46
1011	95692	08/22/19	5029	BILL SMITH FOREIGN CAR S	50900007700	F-150-ALTNTR/TRANSMSN	0.00	250.46
TOTAL CHECK							0.00	1,027.94
1011	95693	08/22/19	3069	JOSHUA BLEA	00165006530	MILEAGE-8/14/19	0.00	29.00
1011	95694	08/22/19	3973	C2 PRINT AND MEDIA MANAG	25055005570	MOVIE NIGHT FLYER	0.00	63.02
1011	95695	08/22/19	4602	SAM CASTELLANO	25055005570	MOVIE NIGHT-08/24/19	0.00	50.00
1011	95696	08/22/19	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLY-PW	0.00	81.05
1011	95696	08/22/19	5051	CINTAS CORPORATION NO. 2	00165006570	FIST AID SUPPLY-CH	0.00	167.58
TOTAL CHECK							0.00	248.63
1011	95697	08/22/19	422	CITY OF SAN DIEGO, CITY	00165006520	WQIP SAN DIEGUITO WMA	0.00	13,483.00
1011	95698	08/22/19	5752	CLIPPER NSPP FA, LLC	001	RFND-SBGR321/980 AVOC	0.00	36,615.00
1011	95698	08/22/19	5752	CLIPPER NSPP FA, LLC	001	RFND-980 AVCADO/FNL M	0.00	4,000.00
TOTAL CHECK							0.00	40,615.00
1011	95699	08/22/19	5171	CORELOGIC SOLUTIONS, LLC	00155005550	PROPERTY PRO DATA-AUG	0.00	96.83
1011	95700	08/22/19	318	COUNTY OF SAN DIEGO ASSE	00155005550	MAP FEE-07/25 & 07/03	0.00	8.00
1011	95701	08/22/19	5635	CREST EQUIPMENT, INC.	45994506510	9450.10 EMRG DRN RPR	0.00	4,730.81
1011	95701	08/22/19	5635	CREST EQUIPMENT, INC.	45994506510	9450.10 EMRG DRN RPR	0.00	35,003.26
TOTAL CHECK							0.00	39,734.07
1011	95702	08/22/19	5665	DB PIPELINE INCORPORATED	50998566510	9856.19 SWR RPLC-7/31	0.00	67,634.30
1011	95702	08/22/19	5665	DB PIPELINE INCORPORATED	50998566510	9856.19S RPLC RT-7/31	0.00	3,559.70
1011	95702	08/22/19	5665	DB PIPELINE INCORPORATED	509	9856.19S RPLC RT-7/31	0.00	-3,559.70
TOTAL CHECK							0.00	67,634.30
1011	95703	08/22/19	739	DEPARTMENT OF JUSTICE	00150005400	FINGERPRINT APP-JUL	0.00	96.00
1011	95704	08/22/19	4218	DICK MILLER, INC	202	9537.19CRT RPR RT7/31	0.00	-3,366.55
1011	95704	08/22/19	4218	DICK MILLER, INC	45995376510	9537.19CNCRT RPR07/31	0.00	4,920.00
1011	95704	08/22/19	4218	DICK MILLER, INC	20295376510	9537.19CNCRT RPR07/31	0.00	59,044.45
1011	95704	08/22/19	4218	DICK MILLER, INC	20295376510	9537.19CRT RPR RT7/31	0.00	3,366.55
TOTAL CHECK							0.00	63,964.45
1011	95705	08/22/19	134	DIXIELINE LUMBER CO INC	00165006570	DRUM LINER	0.00	38.77
1011	95705	08/22/19	134	DIXIELINE LUMBER CO INC	00165006570	SOCKET/SAW BLADES	0.00	44.87
TOTAL CHECK							0.00	83.64
1011	95706	08/22/19	5296	DOG WASTE DEPOT	00165006520	23 MUTT-MITT CARTONS	0.00	1,554.31
1011	95707	08/22/19	94	ESGIL CORPORATION	00155005560	BLDG PRMT 07/15-07/19	0.00	5,606.91
1011	95707	08/22/19	94	ESGIL CORPORATION	00155005560	BLDG PRMT 07/08-07/12	0.00	9,825.01
1011	95707	08/22/19	94	ESGIL CORPORATION	00155005560	BLDG PRMT 07/01-07/05	0.00	10,696.25

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1011	95707	08/22/19	94	ESGIL CORPORATION	00160006120	FIRE PRMT 07/08-07/12	0.00	75.00
1011	95707	08/22/19	94	ESGIL CORPORATION	00160006120	FIRE PRMT 07/15-07/19	0.00	648.75
TOTAL CHECK								26,851.92
1011	95708	08/22/19	4601	FIREWATCH	00165006570	ISPCT SPRNKLR-FS	0.00	785.00
1011	95709	08/22/19	5750	G E M SITE DEVELOPMENT	001	RFND-EP#4176/320 SANT	0.00	755.00
1011	95710	08/22/19	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 08/23/19	0.00	10,946.57
1011	95711	08/22/19	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 08/23/19	0.00	2,087.01
1011	95712	08/22/19	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-JUL	0.00	49.00
1011	95712	08/22/19	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-AUG	0.00	49.00
TOTAL CHECK								98.00
1011	95713	08/22/19	1075	IRON MOUNTAIN	00150005150	RECORDS STRG-AUG	0.00	754.79
1011	95714	08/22/19	5753	JACKSON MILLER	00150005400	J. MILLER-LIVESCAN	0.00	20.00
1011	95715	08/22/19	5508	MERCHANTS BUILDING MAINT	00165006570	JANITORIAL SVC-JUL	0.00	4,581.35
1011	95716	08/22/19	5549	MICHAEL BAKER INTERNATIO	22093826510	9382.03 LSF CORR-III	0.00	673.86
1011	95716	08/22/19	5549	MICHAEL BAKER INTERNATIO	22893826510	9382.03 LSF CORR-III	0.00	3,008.63
TOTAL CHECK								3,682.49
1011	95717	08/22/19	5751	MICHAEL PAESKE & JOY PAE	001	RFND-EP3967/635 CANYO	0.00	261.00
1011	95717	08/22/19	5751	MICHAEL PAESKE & JOY PAE	001	RFND-SBGR353/635 CANY	0.00	6,342.00
TOTAL CHECK								6,603.00
1011	95718	08/22/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.20
1011	95718	08/22/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.79
1011	95718	08/22/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	9.89
1011	95718	08/22/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	9.90
1011	95718	08/22/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	17.59
TOTAL CHECK								48.37
1011	95719	08/22/19	1161	MOTOROLA SOLUTIONS INC	13560006120	7/800 MHZ MBLE RADIO	0.00	5,399.46
1011	95720	08/22/19	5565	MUFG UNION BANK 2017 SEJ	50900007700	2017 SEJPA TRSTEE FEE	0.00	1,582.50
1011	95721	08/22/19	2423	MW PELTZ + ASSOCIATES IN	20295256510	9525 ST HELNA TRL-JUL	0.00	7,312.53
1011	95722	08/22/19	4522	NISSHO OF CALIFORNIA	00165006560	REPLACED COUPLER-CH	0.00	219.03
1011	95722	08/22/19	4522	NISSHO OF CALIFORNIA	00165006560	VALVE REPLACED-LC	0.00	263.58
TOTAL CHECK								482.61
1011	95723	08/22/19	4908	NOAH WILLIAMS PHOTOGRAPH	25560006180	JRLG PROMO DVD 1A&1P	0.00	1,150.00
1011	95724	08/22/19	4767	PARTNERSHIPS WITH INDUST	00165006550	TRASH ABTMNT PE 07/15	0.00	623.81
1011	95724	08/22/19	4767	PARTNERSHIPS WITH INDUST	00165006570	TRASH ABTMNT PE 07/15	0.00	623.81
TOTAL CHECK								1,247.62

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-FC	0.00	25.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-MS	0.00	30.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-FC	0.00	30.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-LC	0.00	30.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-PW	0.00	30.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-FS	0.00	35.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-CH	0.00	45.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	AS ND PST CNTL-JUL-MS	0.00	25.00
1011	95725	08/22/19	5361	HABITAT PROTECTION, INC	00165006570	AS ND PST CNTL-JUL-TP	0.00	51.00
TOTAL CHECK							0.00	301.00
1011	95726	08/22/19	2257	PORTILLO CONCRETE, INC	228	9320.01GLNCRST RT-JUL	0.00	-5,342.50
1011	95726	08/22/19	2257	PORTILLO CONCRETE, INC	20293206510	9320.01 GLENCREST-JUL	0.00	49,127.50
1011	95726	08/22/19	2257	PORTILLO CONCRETE, INC	45993206510	9320.01 GLENCREST-JUL	0.00	52,380.00
1011	95726	08/22/19	2257	PORTILLO CONCRETE, INC	22893206510	9320.01GLNCRST RT-JUL	0.00	5,342.50
TOTAL CHECK							0.00	101,507.50
1011	95727	08/22/19	60	SAN DIEGO ASSOC OF GOVER	00150005100	FY20 SANDAG MEMBRSHIP	0.00	4,551.00
1011	95727	08/22/19	60	SAN DIEGO ASSOC OF GOVER	00160006110	FY20 CRIMINAL JUSTICE	0.00	670.00
1011	95727	08/22/19	60	SAN DIEGO ASSOC OF GOVER	001	9926 FY20 SHORELINE	0.00	5,113.00
TOTAL CHECK							0.00	10,334.00
1011	95728	08/22/19	5725	SIEMENS MOBILITY, INC.	00165006540	TRFFC CALL OUT-INSTAL	0.00	2,300.00
1011	95729	08/22/19	5704	THE HOME DEPOT PRO	00165006560	CLOROX/LNRS/TP	0.00	420.99
1011	95729	08/22/19	5704	THE HOME DEPOT PRO	00165006570	CLOROX/LNRS/TP	0.00	420.99
TOTAL CHECK							0.00	841.98
1011	95730	08/22/19	5310	THE ROCKADEMY, LLC	25055005570	MOVIE NIGHT-08/25/19	0.00	300.00
1011	95731	08/22/19	4534	TRAFFIC SUPPLY, INC	00165006540	NO BIKE ON SDWLK-SIGN	0.00	210.76
1011	95732	08/22/19	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-1717.34 DRP	0.00	358.55
1011	95732	08/22/19	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-1719.05 DRP	0.00	364.77
TOTAL CHECK							0.00	723.32
1011	95733	08/22/19	5509	VALLEY CONSTRUCTION MANAG	50998336510	9833PMP STN MNGMT-JUL	0.00	20,996.25
1011	95734	08/22/19	30	VERIZON WIRELESS-SD	00160006140	CODES CELL 06/24-7/23	0.00	145.61
1011	95735	08/22/19	4844	WARWICK GROUP CONSULTANT	45099266190	9926.20 PROF SVC-JUL	0.00	5,375.00
1011	95736	08/22/19	4503	WESS TRANSPORTATION SERV	25570007110	CAMP FLD TRP- 07/30	0.00	440.94
1011	95736	08/22/19	4503	WESS TRANSPORTATION SERV	25570007110	CAMP FLD TRP- 07/23	0.00	440.94
TOTAL CHECK							0.00	881.88
1011	95737	08/29/19	5755	ACTION SPORT CANOPIES	00160006170	TABLE COVER	0.00	214.50
1011	95737	08/29/19	5755	ACTION SPORT CANOPIES	00160006170	CANOPY BAG	0.00	53.63
1011	95737	08/29/19	5755	ACTION SPORT CANOPIES	00160006170	CANOPY	0.00	750.75
TOTAL CHECK							0.00	1,018.88

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1011	95738	08/29/19	2137	AFLAC	001	AUGUST 19	0.00	895.40
1011	95739	08/29/19	1122	APPLE ONE, INC	00150005150	TEMP HELP PE 08/10	0.00	256.52
1011	95744	08/29/19	1914	US BANK	00150005150	CLERK SUPPLIES	0.00	84.98
1011	95744	08/29/19	1914	US BANK	00150005150	CLERK SUPPLIES	0.00	93.72
1011	95744	08/29/19	1914	US BANK	00150005150	CLERK SUPPLIES	0.00	96.06
1011	95744	08/29/19	1914	US BANK	00150005150	CLERK SUPPLIES	0.00	105.48
1011	95744	08/29/19	1914	US BANK	00150005100	CLOSED SESSION-06/26	0.00	105.92
1011	95744	08/29/19	1914	US BANK	25560006180	JG COMP DAY FOOD	0.00	126.96
1011	95744	08/29/19	1914	US BANK	25570007110	DAY CAMP SUPPLIES	0.00	137.78
1011	95744	08/29/19	1914	US BANK	001	CLIMATE PRO-KING-6/20	0.00	164.20
1011	95744	08/29/19	1914	US BANK	25570007110	DAY CAMP SUPPLIES	0.00	195.54
1011	95744	08/29/19	1914	US BANK	00150005150	CLERK SUPPLIES	0.00	289.86
1011	95744	08/29/19	1914	US BANK	00160006120	TWLS/BAGS/CLNR/BTTY	0.00	331.18
1011	95744	08/29/19	1914	US BANK	00150005150	ARCHIVAL DVD	0.00	337.42
1011	95744	08/29/19	1914	US BANK	25560006180	JG TRAILER-JUN-JUL	0.00	429.82
1011	95744	08/29/19	1914	US BANK	00165006570	BLACKOUT SHADE	0.00	581.85
1011	95744	08/29/19	1914	US BANK	00150005150	ARCHIVAL DVD	0.00	750.00
1011	95744	08/29/19	1914	US BANK	00160006170	WIRE	0.00	5.61
1011	95744	08/29/19	1914	US BANK	00160006120	COUPLING	0.00	14.58
1011	95744	08/29/19	1914	US BANK	25560006180	CPR CERTS ELITE	0.00	330.00
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP FIELD TRIP-07/09	0.00	340.00
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP FIELD TRIP-07/30	0.00	359.80
1011	95744	08/29/19	1914	US BANK	00150005300	FINANCE CNTR PRINTER	0.00	370.15
1011	95744	08/29/19	1914	US BANK	00160006120	HEADSET/MIC COVER	0.00	374.45
1011	95744	08/29/19	1914	US BANK	25055005570	MOVIE NIGHT-MOVIE	0.00	403.00
1011	95744	08/29/19	1914	US BANK	25560006180	JG TRAILER-JUL/AUG	0.00	419.04
1011	95744	08/29/19	1914	US BANK	00165006560	PAINT FOR DMS	0.00	472.43
1011	95744	08/29/19	1914	US BANK	001	LCC CONF-HARLSS-10/16	0.00	550.00
1011	95744	08/29/19	1914	US BANK	00160006120	PLASTIC SHEETS	0.00	617.15
1011	95744	08/29/19	1914	US BANK	001	APA CONF-LIM-09/17	0.00	635.00
1011	95744	08/29/19	1914	US BANK	25560006180	JG-BLANK AWARD CERTS	0.00	689.60
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP FIELD TRIP-07/16	0.00	986.00
1011	95744	08/29/19	1914	US BANK	001	APA HOTEL-LIM-09/17	0.00	1,216.28
1011	95744	08/29/19	1914	US BANK	00160006140	COUNTY RECORD FEE	0.00	8.50
1011	95744	08/29/19	1914	US BANK	00150005450	HOSTING DOMAINS-JUN	0.00	9.95
1011	95744	08/29/19	1914	US BANK	00150005200	CLOSED SESSION-06/26	0.00	15.99
1011	95744	08/29/19	1914	US BANK	00150005250	CLOSED SESSION-06/26	0.00	15.99
1011	95744	08/29/19	1914	US BANK	25570007110	DAY CAMP-CNDY/CUPS	0.00	17.88
1011	95744	08/29/19	1914	US BANK	00160006120	BATTERIES	0.00	17.98
1011	95744	08/29/19	1914	US BANK	25560006180	HDMI CABLE	0.00	21.54
1011	95744	08/29/19	1914	US BANK	00160006120	PHONE CASE	0.00	23.94
1011	95744	08/29/19	1914	US BANK	00150005150	CLERK SUPPLIES	0.00	46.59
1011	95744	08/29/19	1914	US BANK	25570007110	DAY CAMP SUPPLIES	0.00	68.34
1011	95744	08/29/19	1914	US BANK	00155005550	TRAKIT TRN LUNCH	0.00	-45.73
1011	95744	08/29/19	1914	US BANK	00160006140	CERTIFIED MAIL LETTER	0.00	3.05
1011	95744	08/29/19	1914	US BANK	00160006140	COUNTY DOCUMENT FEE	0.00	6.50
1011	95744	08/29/19	1914	US BANK	00160006140	COUNTY DOCUMENT FEE	0.00	6.50
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP POPSICLES	0.00	6.78
1011	95744	08/29/19	1914	US BANK	00165006530	PWI WATER	0.00	8.38
1011	95744	08/29/19	1914	US BANK	00160006170	BLEACH/DUCT TAPE	0.00	9.68

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95744	08/29/19	1914	US BANK	00160006170	WIRE	0.00	9.99
1011	95744	08/29/19	1914	US BANK	00150005250	CLOSED SESSION-07/10	0.00	10.50
1011	95744	08/29/19	1914	US BANK	00160006120	LAWN MOWER HANDLE	0.00	12.82
1011	95744	08/29/19	1914	US BANK	00150005200	CLOSED SESSION-07/10	0.00	12.99
1011	95744	08/29/19	1914	US BANK	00165006570	LIGHTBULB-FCCC	0.00	14.90
1011	95744	08/29/19	1914	US BANK	00160006120	STARTER CORD	0.00	17.19
1011	95744	08/29/19	1914	US BANK	25560006180	JG BNQT ICE	0.00	17.20
1011	95744	08/29/19	1914	US BANK	00165006570	CAR WASH	0.00	18.99
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP-TAPE	0.00	19.36
1011	95744	08/29/19	1914	US BANK	00165006510	APWA LUNCH-GOLDBERG	0.00	20.00
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP ICE CREAM	0.00	21.18
1011	95744	08/29/19	1914	US BANK	27060006170	CSA17.20 ICE PACKS	0.00	21.51
1011	95744	08/29/19	1914	US BANK	00160006170	AMERICAN FLAG	0.00	22.81
1011	95744	08/29/19	1914	US BANK	25560006180	JG BNQT ICE	0.00	25.80
1011	95744	08/29/19	1914	US BANK	00170007110	POT LUCK SUPPLIES	0.00	25.83
1011	95744	08/29/19	1914	US BANK	00160006170	LIFESAVNG MMBR-SHOOK	0.00	30.00
1011	95744	08/29/19	1914	US BANK	00150005150	PAPER	0.00	31.72
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP PLATES/SILVERWR	0.00	33.58
1011	95744	08/29/19	1914	US BANK	00165006560	LIGHT-SEASCAPE STRS	0.00	34.31
1011	95744	08/29/19	1914	US BANK	00155005550	TRAKIT TRN LUNCH	0.00	38.79
1011	95744	08/29/19	1914	US BANK	25570007110	CAMP ORIENTATION FOOD	0.00	41.55
1011	95744	08/29/19	1914	US BANK	00160006120	CLN PADS/BRUSH/HOSE	0.00	42.69
1011	95744	08/29/19	1914	US BANK	00165006560	PART FOR HAND WASHER	0.00	46.29
1011	95744	08/29/19	1914	US BANK	00160006170	FLAG	0.00	46.90
1011	95744	08/29/19	1914	US BANK	00155005550	TRAKIT TRN LUNCH	0.00	51.79
1011	95744	08/29/19	1914	US BANK	00150005200	LA TIMES SUB-Q1	0.00	51.87
1011	95744	08/29/19	1914	US BANK	00150005400	PLAQUE FOR SCULPTURE	0.00	56.00
1011	95744	08/29/19	1914	US BANK	00160006170	STOOLS/WHEELS	0.00	59.17
1011	95744	08/29/19	1914	US BANK	00160006170	BREAK BIKE SERVICED	0.00	64.64
1011	95744	08/29/19	1914	US BANK	00150005450	CONSTANT CONTACT-JUL	0.00	75.00
1011	95744	08/29/19	1914	US BANK	00150005100	CLOSED SESSION-07/10	0.00	77.63
1011	95744	08/29/19	1914	US BANK	00160006170	DOCUMENT/PADS	0.00	81.50
1011	95744	08/29/19	1914	US BANK	00160006170	2 TOWER CHAIRS	0.00	95.85
1011	95744	08/29/19	1914	US BANK	25560006180	JG OFFICE SUPPLIES	0.00	96.95
1011	95744	08/29/19	1914	US BANK	001	FRAUD/ETHICS-BERKUTI	0.00	97.08
1011	95744	08/29/19	1914	US BANK	001	EXCEL-SITHER-11/20	0.00	99.00
1011	95744	08/29/19	1914	US BANK	001	SECURITY-SITHER-09/11	0.00	99.00
1011	95744	08/29/19	1914	US BANK	001	EXCEL-THAYER-8/20	0.00	99.00
1011	95744	08/29/19	1914	US BANK	00155005550	TRAKIT TRN LUNCH	0.00	113.03
1011	95744	08/29/19	1914	US BANK	00155005550	TRAKIT TRN LUNCH	0.00	126.01
1011	95744	08/29/19	1914	US BANK	25560006180	JG BNQT REFRESHMENTS	0.00	126.70
1011	95744	08/29/19	1914	US BANK	00160006120	PRIME MEMBERSHIP	0.00	128.22
1011	95744	08/29/19	1914	US BANK	00155005550	IPAD CASE/KEYBOARD	0.00	140.02
1011	95744	08/29/19	1914	US BANK	00160006120	BACKBOARD/RIM	0.00	140.05
1011	95744	08/29/19	1914	US BANK	55000007750	CCA JPA LUNCH MTG	0.00	183.64
1011	95744	08/29/19	1914	US BANK	25560006180	JG BNQT TABL/CHRS	0.00	185.00
1011	95744	08/29/19	1914	US BANK	001	CLIMATE PRO-WADE-6/20	0.00	192.20
1011	95744	08/29/19	1914	US BANK	00160006170	SUNSCREEN	0.00	205.64
1011	95744	08/29/19	1914	US BANK	00170007110	POT LUCK SUPPLIES	0.00	208.68
1011	95744	08/29/19	1914	US BANK	00160006170	TIDE PARK WINDOW	0.00	222.45
1011	95744	08/29/19	1914	US BANK	00160006120	TWL/SPNG/SOAP/CLNR	0.00	272.22
TOTAL CHECK							0.00	15,820.96

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95745	08/29/19	824	CAL-JUNE INC.	25560006180	RESCUE TUBES	0.00	565.15
1011	95746	08/29/19	2476	CCAC	001	EDUC.WRKSHIP-IVEY	0.00	50.00
1011	95747	08/29/19	318	COUNTY OF SAN DIEGO ASSE	50900007700	COMPUTER TAPE 77-MPR	0.00	125.00
1011	95748	08/29/19	2098	CULLIGAN OF SAN DIEGO	00160006120	WATER FLTR 08/01-9/30	0.00	85.60
1011	95749	08/29/19	2629	D & D DISPOSAL INC	00160006130	ANIMAL DISPOLSAL-JUL	0.00	325.00
1011	95750	08/29/19	108	DEL MAR BLUE PRINT COMPA	00150005150	ELECTN DIST MAPS 2020	0.00	337.95
1011	95750	08/29/19	108	DEL MAR BLUE PRINT COMPA	00150005150	RRW-1902 VERA ST.	0.00	18.49
1011	95750	08/29/19	108	DEL MAR BLUE PRINT COMPA	00150005150	27-431 CEDROS-DPT CPY	0.00	56.53
TOTAL CHECK							0.00	412.97
1011	95751	08/29/19	5210	COUNTY OF SAN DIEGO	00160006140	PRKNG CITE ADMIN-JUL	0.00	3,238.00
1011	95752	08/29/19	134	DIXIELINE LUMBER CO INC	00165006570	GLUE	0.00	2.32
1011	95752	08/29/19	134	DIXIELINE LUMBER CO INC	00165006570	LIQUID NAILS	0.00	6.44
TOTAL CHECK							0.00	8.76
1011	95753	08/29/19	884	ENTENMANN-ROVIN CO. INC	00160006120	DOME BADGE-FORD/SAMPL	0.00	227.32
1011	95754	08/29/19	4601	FIREWATCH	00165006570	INSPCT SPRNKLR-FC	0.00	385.00
1011	95755	08/29/19	4572	KING OF THE PAINTERS CO	00165006560	PUB BCH STPS-PAINTED	0.00	995.00
1011	95756	08/29/19	5562	LC PAVING & SEALING INC	459	9355.05 ADA RTN RLS	0.00	2,265.00
1011	95757	08/29/19	190	LEAGUE OF CALIFORNIA CIT	00165006530	2019STRT/ROAD ASSMNT	0.00	300.00
1011	95758	08/29/19	172	LEE'S LOCK & SAFE INC	00165006560	6 PADLOCKS	0.00	80.81
1011	95759	08/29/19	2102	LEGAL SHIELD CORP	001	PPD LEGAL-AUG 19	0.00	64.75
1011	95760	08/29/19	4738	MEDICAL EYE SERVICES	001	VISION AUG 19	0.00	432.53
1011	95760	08/29/19	4738	MEDICAL EYE SERVICES	001	EE -AUG 19	0.00	11.29
1011	95760	08/29/19	4738	MEDICAL EYE SERVICES	001	EE# -AUG 19	0.00	11.29
1011	95760	08/29/19	4738	MEDICAL EYE SERVICES	001	EE -AUG 19	0.00	29.14
1011	95760	08/29/19	4738	MEDICAL EYE SERVICES	00150005400	ROUNDING-AUG 19	0.00	-0.23
TOTAL CHECK							0.00	484.02
1011	95761	08/29/19	2106	MIKHAIL OGAWA ENGINEERIN	00165006520	JURMP-JUL	0.00	23,931.74
1011	95762	08/29/19	5407	PJ CASTORENA, INC.	55000007750	CCA MAILER-8/5 & 8/12	0.00	275.85
1011	95763	08/29/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.18
1011	95763	08/29/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.70
1011	95763	08/29/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	9.78
1011	95763	08/29/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	9.79
1011	95763	08/29/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	17.40

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
TOTAL CHECK							0.00	47.85
1011	95764	08/29/19	5734	NATIONWIDE MEDICAL SURGI	27060006120	CSA17.20 ALBUTEROL	0.00	63.76
1011	95765	08/29/19	4522	NISSHO OF CALIFORNIA	00165006560	COASTL RAIL RPLCD UNI	0.00	602.13
1011	95765	08/29/19	4522	NISSHO OF CALIFORNIA	00165006570	PW YARD R/R VALVES	0.00	646.08
1011	95765	08/29/19	4522	NISSHO OF CALIFORNIA	00165006560	LC BRKN SPRNKL RPLCD	0.00	110.29
TOTAL CHECK							0.00	1,358.50
1011	95766	08/29/19	4908	NOAH WILLIAMS PHOTOGRAPH	25560006180	JRLG PROMO DVD 2A&2P	0.00	1,150.00
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-JUL	0.00	110.60
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-JUL	0.00	31.00
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-JUL	0.00	33.60
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-JUL	0.00	49.00
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-JUL	0.00	23.70
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-JUL	0.00	23.70
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-JUL	0.00	5.00
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-JUL	0.00	7.90
1011	95767	08/29/19	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-JUL	0.00	15.80
TOTAL CHECK							0.00	300.30
1011	95768	08/29/19	1087	PREFERRED BENEFIT INS AD	001	EE TIMING-AUG 19	0.00	43.50
1011	95768	08/29/19	1087	PREFERRED BENEFIT INS AD	00150005400	ADMIN FEE-AUG 19	0.00	4.50
1011	95768	08/29/19	1087	PREFERRED BENEFIT INS AD	001	DENTAL AUGUST 19	0.00	2,409.80
TOTAL CHECK							0.00	2,457.80
1011	95769	08/29/19	1008	PSC, LLC	00165006520	HHW-JUL	0.00	1,175.20
1011	95770	08/29/19	1112	RANCHO SANTA FE SECURITY	00160006140	GAURD SRVC-07/04/19	0.00	540.00
1011	95771	08/29/19	2260	REDFLEX TRAFFIC SYSTEMS,	00165006540	RED LIGHT CAMERA-JUL	0.00	7,158.00
1011	95772	08/29/19	4285	REVOLUTION BIKE SHOP	25055005570	MOVIE NIGHT-BIKE RFFL	0.00	100.00
1011	95773	08/29/19	169	SDG&E CO INC	00165006570	UTILITIES-06/30-08/07	0.00	2,868.54
1011	95773	08/29/19	169	SDG&E CO INC	21100007600	UTILITIES-06/30-08/07	0.00	6,570.46
1011	95773	08/29/19	169	SDG&E CO INC	00165006540	UTILITIES-06/30-08/07	0.00	430.51
1011	95773	08/29/19	169	SDG&E CO INC	00165006530	UTILITIES-06/30-08/07	0.00	458.75
1011	95773	08/29/19	169	SDG&E CO INC	20375007510	UTILITIES-07/07-08-07	0.00	2,399.63
1011	95773	08/29/19	169	SDG&E CO INC	00165006570	UTILITIES-07/07-08-07	0.00	6,149.50
1011	95773	08/29/19	169	SDG&E CO INC	00165006540	UTILITIES-07/07-08-07	0.00	909.78
1011	95773	08/29/19	169	SDG&E CO INC	00165006530	UTILITIES-07/07-08-07	0.00	754.81
TOTAL CHECK							0.00	20,541.98
1011	95774	08/29/19	5754	SIERRA CASPER	00150005400	S. CASPER-LIVESCAN	0.00	25.00
1011	95775	08/29/19	4196	SPECTRA ASSOCIATES, INC	00150005150	ARCHVL CUSTM BOOK-2	0.00	621.50
1011	95776	08/29/19	5704	THE HOME DEPOT PRO	00165006570	TOILET PAPER SPINDLES	0.00	207.06
1011	95777	08/29/19	4534	TRAFFIC SUPPLY, INC	00165006540	SIGN HARDWARE	0.00	17.07

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95778	08/29/19	1667	TRANSAMERICAN MAILING &	50900007700	2019 CNTY TAX PREP	0.00	350.00
1011	95779	08/29/19	1458	THE UNIFORM SPECIALIST	00160006120	POLO/EMBR/SHRT-FORD	0.00	340.91
1011	95780	08/29/19	4503	WESS TRANSPORTATION SERV	25570007110	CAMP FLD TRP-08/06	0.00	440.94
1011	95781	09/05/19	4706	24 HOUR ELEVATOR, INC	00165006570	ELVTR MAINT-AUG	0.00	160.00
1011	95782	09/05/19	1135	AFFORDABLE PIPELINE SERV	50900007700	E-SEWER CLEAN-11,222	0.00	5,611.00
1011	95782	09/05/19	1135	AFFORDABLE PIPELINE SERV	00165006520	H-STORM DRAIN MAINT	0.00	1,140.00
TOTAL CHECK							0.00	6,751.00
1011	95783	09/05/19	174	AMERICAN PUBLIC WORKS AS	00165006510	19/20 MEMBR-5 ENG/PW	0.00	109.91
1011	95783	09/05/19	174	AMERICAN PUBLIC WORKS AS	00165006520	19/20 MEMBR-5 ENG/PW	0.00	109.92
TOTAL CHECK							0.00	219.83
1011	95784	09/05/19	1122	APPLE ONE, INC	00150005150	TEMP HELP PE 08/17	0.00	236.38
1011	95784	09/05/19	1122	APPLE ONE, INC	00150005150	TEMP HELP PE 08/17	0.00	256.52
TOTAL CHECK							0.00	492.90
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00160006140	AUTO FUEL-08/03-09/02	0.00	275.79
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00165006530	AUTO FUEL-08/03-09/02	0.00	363.94
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00160006120	AUTO FUEL-08/03-09/02	0.00	371.30
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00160006170	AUTO FUEL-08/03-09/02	0.00	1,022.28
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00165006560	AUTO FUEL-08/03-09/02	0.00	75.30
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00170007110	AUTO FUEL-08/03-09/02	0.00	118.65
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00165006570	AUTO FUEL-08/03-09/02	0.00	125.50
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00165006510	AUTO FUEL-08/03-09/02	0.00	138.04
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	50900007700	AUTO FUEL-08/03-09/02	0.00	150.59
1011	95785	09/05/19	3704	ARCO GASPRO PLUS	00165006520	AUTO FUEL-08/03-09/02	0.00	401.58
TOTAL CHECK							0.00	3,042.97
1011	95786	09/05/19	4832	AT&T CALNET 3	50900007700	9391012277 7/24-8/23	0.00	13.55
1011	95786	09/05/19	4832	AT&T CALNET 3	00165006540	9391012279 7/24-8/23	0.00	44.72
TOTAL CHECK							0.00	58.27
1011	95787	09/05/19	2424	BJ'S RENTALS	00165006570	LIFT SCISSOR	0.00	366.45
1011	95787	09/05/19	2424	BJ'S RENTALS	00165006560	TILLER	0.00	89.81
TOTAL CHECK							0.00	456.26
1011	95788	09/05/19	3069	JOSHUA BLEA	00165006560	MILEAGE-08/18/19	0.00	27.25
1011	95789	09/05/19	3480	BUSINESS PRINTING COMPAN	00155005550	BUS CARD-WADE/BENSON	0.00	155.77
1011	95790	09/05/19	5759	CHAD GRAVES	213	RFND-SEAWALL/249 PACI	0.00	4,249.84
1011	95791	09/05/19	693	CODE PUBLISHING COMPANY	00150005150	MUNI CODE UPDATE-7/26	0.00	307.50
1011	95792	09/05/19	223	FEDEX	00150005150	SHIPPING-08/22/19	0.00	26.55
1011	95793	09/05/19	2801	FORMS + SURFACES	00165006560	REPLCEMENT PARTS/HRDW	0.00	714.40

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	95794	09/05/19	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 09/06/19	0.00	10,971.61
1011	95795	09/05/19	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 09/06/19	0.00	2,084.94
1011	95796	09/05/19	5760	INTERMARKET MANUFACTURIN	00160006170	SHARK WARNING SIGNS	0.00	408.64
1011	95797	09/05/19	5098	JOSE GARCIA	00165006560	MILEAGE-8/21 & 8/25	0.00	37.12
1011	95797	09/05/19	5098	JOSE GARCIA	50900007700	MILEAGE-8/21 & 8/25	0.00	37.12
TOTAL CHECK							0.00	74.24
1011	95798	09/05/19	3984	LEHIGH HANSON HEIDELBERG	00165006530	DECOMPOSED GRAVEL	0.00	316.99
1011	95799	09/05/19	5508	MERCHANTS BUILDING MAINT	00165006570	JANITORIAL SVC-AUG	0.00	4,581.35
1011	95800	09/05/19	3757	MISAC	00150005450	MBRSHP-MANRQZ-FY19/20	0.00	130.00
1011	95801	09/05/19	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.18
1011	95801	09/05/19	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.70
1011	95801	09/05/19	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	9.78
1011	95801	09/05/19	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	9.79
1011	95801	09/05/19	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	17.40
TOTAL CHECK							0.00	47.85
1011	95802	09/05/19	50	OFFICE DEPOT INC	00150005300	EXTENSION CORD	0.00	4.73
1011	95802	09/05/19	50	OFFICE DEPOT INC	00150005350	BATTERIES	0.00	27.40
TOTAL CHECK							0.00	32.13
1011	95803	09/05/19	4767	PARTNERSHIPS WITH INDUST	00165006550	TRASH ABTMNT PE 07/31	0.00	803.29
1011	95803	09/05/19	4767	PARTNERSHIPS WITH INDUST	00165006550	TRASH ABTMNT PE 08/15	0.00	826.77
1011	95803	09/05/19	4767	PARTNERSHIPS WITH INDUST	00165006570	TRASH ABTMNT PE 07/31	0.00	803.29
1011	95803	09/05/19	4767	PARTNERSHIPS WITH INDUST	00165006570	TRASH ABTMNT PE 08/15	0.00	826.78
TOTAL CHECK							0.00	3,260.13
1011	95804	09/05/19	677	ROADONE INC	00160006120	TOWING JUNK CARS-TRNG	0.00	350.00
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	00165006560	005506018 07/02-08/01	0.00	241.36
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	00165006560	005506019 07/02-08/01	0.00	1,590.31
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	20875007580	005506020 07/02-08/01	0.00	1,534.36
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	00165006520	005506014 07/02-08/01	0.00	171.69
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	50900007700	005506014 07/02-08/01	0.00	515.09
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	00165006530	011695000 07/02-08/01	0.00	81.85
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	00165006550	011695000 07/02-08/01	0.00	49.11
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	20475007520	GRP 6-01 07/02-08/01	0.00	8,927.32
1011	95805	09/05/19	141	SANTA FE IRRIGATION DIST	20475007520	005979-029 06/15-8/15	0.00	479.49
TOTAL CHECK							0.00	13,590.58
1011	95806	09/05/19	5757	SHAWN HETHCOCK	001	RFND-SBGR-307/421N GR	0.00	6,216.00
1011	95807	09/05/19	4534	TRAFFIC SUPPLY, INC	00165006560	DOG LEASH SGN/RFLCTV	0.00	230.15
1011	V900049	08/15/19	1512	WELLS FARGO BANK N.A.	571	LESS RV FND CASH 9/2	0.00	-136.84

PENTAMATION
 DATE: 09/11/2019
 TIME: 08:33:23

CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 18
 ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20190810 00:00:00.000' and '20190913 00:00:00.000'
 ACCOUNTING PERIOD: 3/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	V900049	08/15/19	1512	WELLS FARGO BANK N.A.	67285008520	PACIFIC BND INT 9/2	0.00	10,091.26
1011	V900049	08/15/19	1512	WELLS FARGO BANK N.A.	67285008520	PACIFIC BND PRIN 9/2	0.00	15,000.00
1011	V900049	08/15/19	1512	WELLS FARGO BANK N.A.	67185008510	BARB BND INT 9/2	0.00	30,023.76
1011	V900049	08/15/19	1512	WELLS FARGO BANK N.A.	67185008510	BARB BND PRIN 9/2	0.00	45,000.00
TOTAL CHECK							0.00	99,978.18
1011	V900050	08/15/19	4048	WELLS FARGO CORP TRST SS	67685008560	SSSWR BOND INT 9/2	0.00	10,732.50
1011	V900050	08/15/19	4048	WELLS FARGO CORP TRST SS	67685008560	SSSWR BOND PRIN 9/2	0.00	15,000.00
1011	V900050	08/15/19	4048	WELLS FARGO CORP TRST SS	67385008530	MARSOLAN BND INT 9/2	0.00	9,825.00
1011	V900050	08/15/19	4048	WELLS FARGO CORP TRST SS	67385008530	MARSOLAN BND PRIN 9/2	0.00	10,000.00
TOTAL CHECK							0.00	45,557.50
1011	V900051	08/22/19	5527	PCL CONSTRUCTION INC.	50998336510	9833 SB PMP STN-JUL	0.00	284,697.90
1011	V900051	08/22/19	5527	PCL CONSTRUCTION INC.	50998336510	9833 PMP STN RTN-JUL	0.00	14,984.10
1011	V900051	08/22/19	5527	PCL CONSTRUCTION INC.	509	9833 PMP STN RTN-JUL	0.00	-14,984.10
TOTAL CHECK							0.00	284,697.90
1011	V900052	08/22/19	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 08/23/19	0.00	863.50
1011	V900053	09/05/19	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 09/06/19	0.00	863.50
1011	V900054	09/05/19	5019	TIFFANY WADE	00150005400	RMB-CEQA BUSA-WADE	0.00	425.00
TOTAL CASH ACCOUNT							0.00	1,609,273.69
TOTAL FUND							0.00	1,609,273.69
TOTAL REPORT							0.00	1,609,273.69



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Finance
SUBJECT: Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2019/20

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through August 28, 2019.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 12, 2019 (Resolution 2019-085) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES						
As of August 28, 2019						
Action	Description	Revenues	Expenditures	Transfers from GF		Net Surplus
Reso 2019-085	Adopted Budget	19,357,000	(19,141,500)	(151,100)	(1)	\$ 64,400
	(1) Transfers to:					
	Debt Service for Public Facilities		151,100			
				151,100		

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

N/A

COUNCIL ACTION:

WORK PLAN:

N/A

OPTIONS:

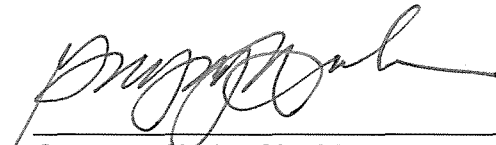
- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2019-2020 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Engineering Department
SUBJECT: **Update No. 8 on Actions Taken in Response to the
Emergency Storm Drainpipe Repairs in the Solana
Beach Towne Centre**

BACKGROUND:

The City of Solana Beach owns an 84-inch diameter Corrugated Metal Pipe (CMP) located just west of the Interstate 5 Freeway in the Solana Beach Towne Centre near San Rodolfo Drive. A failure of the pipe was discovered and, on April 10, 2019, the City Council declared an emergency under Public Contract Code sections 20168 and 22050. As part of the Declaration of Emergency, the City Council authorized the City Manager to take any directly related and immediate action required by the emergency and directed Staff to report to the City Council regarding the emergency as required by Public Contract Code section 22050 and Resolution No. 2008-091.

This item is before the City Council for information only to provide Update No. 8 to the construction project pursuant to section 22050(c) of the Public Contract Code. No action is required.

DISCUSSION:

Since the last time the project was presented to the City Council on August 28, 2019, the contractor completed all underground work including the concrete encasement, corresponding compacted backfill and all invert paving. The site was properly prepared for final paving and site restoration. However, the property owner requested that the City hold the final phase of the project until such time when the work associated with the building restoration is completed. Please note that the building restoration is the responsibility of the property owner and was not included in the storm drain repair contract.

COUNCIL ACTION:

Staff is continuing to work closely with the property owners to minimize the construction impacts and complete this project. The estimated time for building restoration provided by the property owner is late September-early October.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302(c) of the State CEQA Guidelines.

FISCAL IMPACT:

The initial construction cost associated with this repair is estimated at \$750,000. Additionally, there are costs associated with structural engineering, geotechnical engineering, field and laboratory testing and field surveying. Staff's estimate for the professional services is \$85,000. There has been no change to the fiscal impact since the last update when the City Council appropriated \$835,000 to the project account in the City CIP Fund.

WORK PLAN: N/A

OPTIONS:

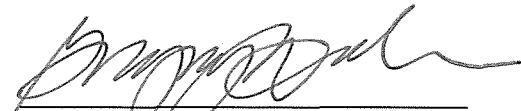
- Receive this report.
- Provide comments or direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive Update No. 8 and provide further direction, if necessary.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: City Manager's Office
SUBJECT: Council Use Policy – Public Availability of Drinking Water

BACKGROUND:

Upon adoption of Ordinance 504, which includes provisions to limit the sale and distribution of plastic bottled beverages and packaged water at City events and on City property, Council expressed the desire to introduce a Council Policy to ensure clean and free drinking water is widely available and accessible in public areas.

This item is before City Council to adopt the City Council Policy No.__(number to be assigned upon Council approval) increasing the City's commitment to provide public drinking water.

DISCUSSION:

Ordinance 504—Amending Title 5 of the City of Solana Beach Municipal Code Regarding Regulation of Food Service Ware, Polystyrene and Plastic Bottled Beverages in Furtherance of Protecting the Environment and Reducing Single-Use Plastics contains provisions that limit the sale and distribution of plastic bottled beverages and packaged water on City property and at City events. In support of these provisions, Council wanted to ensure that public drinking water is widely available.

To accomplish this goal, Council would like to establish a policy that any capital improvement undertaken in a park, plaza, playground or other public space shall install bottle-filling stations, drinking fountains and/or potable water hook-ups for public use.

Council would also like for the City to conduct a review of available water sources at City facilities to determine the needs for additional or modified bottle filling stations, drinking fountains and/or potable hook-ups for public use. The review should include a

COUNCIL ACTION:

determination of which properties have a reliable on-site supply of drinking water that could be used by event sponsors. And, finally, the policy includes a goal to encourage the inclusion of water bottle filling stations for public use in privately owned developments.

CEQA COMPLIANCE STATEMENT:

The proposed Ordinance is exempt from the provisions of the California Environmental Quality Act ("CEQA") pursuant to Section 15308 of the CEQA Guidelines because it is an activity undertaken "to assure the maintenance, restoration, enhancement and protection of the environment" and pursuant to Section 15061(b)(3) because there is no possibility that the activity in question may have a significant effect on the environment.

FISCAL IMPACT:

There is no immediate fiscal impact as a result of this item. Each future capital improvement project undertaken in a park, plaza, playground or other public space will include an assessment and cost estimate to include a bottle filling station, drinking fountain and/or potable water hooks-ups for public use for Council consideration.

WORK PLAN:

Environmental Sustainability Section A-4: Plastic Use Restrictions

OPTIONS:

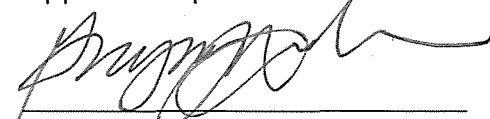
- Adopt Resolution 2019-129 formally adopting City Council Policy No.____ increasing the City's commitment to provide public drinking water.
- Do not adopt Resolution 2019-129
- Provide alternative direction

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council provide comment and direction and consider adoption of Resolution 2019-129 formally adopting City Council Policy No.____ increasing the City's commitment to provide public drinking water.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2019-129
2. City Council Policy No.____

RESOLUTION 2019-129

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, FORMALLY ADOPTING CITY COUNCIL POLICY NO.____ (TBD) INCREASING THE CITY'S COMMITMENT TO PROVIDE PUBLIC DRINKING WATER

WHEREAS, the City has adopted Ordinance 504 which limits the sale and distribution of plastic bottled beverages and packaged water on City property and at City events; and

WHEREAS, Council expressed the desire to ensure the wide availability of free drinking water by the public in public areas; and

WHEREAS, the Council would like to establish a policy that any capital improvement undertaken in a public space should include the installation of bottle-filling stations, drinking fountains, and/or potable hook-ups for public use; and

WHEREAS, the Council would like for the City to conduct a review of facilities to determine the public availability of free drinking water.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.

2. That the City Council adopts the City Council Policy increasing the City's commitment to provide public drinking water.

PASSED AND ADOPTED this 25th day of September, 2019, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

CITY OF SOLANA BEACH	Policy No. ___
COUNCIL POLICY	Adopted: 9/25/2019 Revised:
GENERAL SUBJECT: Public Availability of Drinking Water	
SPECIFIC SUBJECT: Increasing the City's Commitment to Provide Public Drinking Water	

PURPOSE: The purpose of this policy is to increase the availability of clean, free drinking water for public consumption in public areas by ensuring access to drinking fountains, potable water hook-ups, and with particular emphasis on providing water bottle filling stations.

POLICY STATEMENT:

On September 25, 2019, the City Council adopted Ordinance No. 504--Amending Title 5 of the Solana Beach Municipal Code Regarding Regulation of Food Service Ware, Polystyrene and Plastic Bottles in Furtherance of Protecting the Environment and Reducing Single-Use Plastics and Waste. Chapter 5.05 of the amended code restricts the sale and distribution of plastic bottled beverages and packaged water at City events and on City property. To facilitate compliance with this Chapter, the City Council would like to maximize access to publicly available and free drinking water.

POLICY PROCEDURES:

It shall be City policy that any capital improvement undertaken in a park, plaza, playground or other public space shall install bottle-filling stations, drinking fountains and/or potable water hook-ups for public use if the City Manager finds that the installation is proximate and feasible with the scale and scope of the capital improvement.

Accordingly, the City shall conduct a review of available water sources at City facilities, including but not limited to buildings, parks, plaza, playgrounds and other public spaces to determine the needs for additional or modified bottle filling stations, drinking fountains, and/or potable hook-ups for public use. The review shall include a determination of which properties that are used for events and otherwise, have a reliable on-site supply of drinking water that could be used by event sponsors.

It shall be a City goal to encourage the inclusion of water bottle filling stations for public use in privately owned developments.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Engineering Department
SUBJECT: **Council Consideration of Resolution 2019-113 Authorizing the City Clerk to File a Notice of Completion for the Sewer Pipeline Replacements Project and Resolution 2019-123 Ratification of Emergency Storm Drain Repairs along Lomas Santa Fe East of Las Banderas**

BACKGROUND:

At the March 13, 2019 Council Meeting, the construction contract for the 2019 Sewer Pipeline Replacements, Bid 2019-01, was awarded to DB Pipeline. The project removed and replaced sewer mains in Pacific Avenue, Linda Mar, and South Helix Avenue.

Emergency Storm Drain Replacement

Shortly after the sewer replacement project was completed, landscape maintenance workers for Lomas Santa Fe Country Club Villas HOA reported a sinkhole on a steep vegetated slope along the south side of Lomas Santa Fe drive approximately 200 yards east of the Las Banderas intersection. The initial investigative work, which included a closed circuit televising video (CCTV) and a comprehensive research of the historical design plans, revealed a large underground cavity immediately adjacent to Lomas Santa Fe caused by a deteriorating 18-inch corrugated metal pipe (CMP). Due to proximity of the sinkhole to Lomas Santa Fe, Staff determined that the repair of this pipeline and corresponding sinkhole was of an urgent nature and engaged the services of DB Pipeline to replace the pipe and restore the slope on an emergency basis.

This item is before the City Council to consider adoption of Resolution 2019-113 (Attachment 1) to report the final sewer project costs, accept the sewer project as complete, and to direct the City Clerk to file a Notice of Completion for the sewer project. This Staff Report is also before the City Council to inform the Council of the actions

CITY COUNCIL ACTION:

undertaken to perform emergency repairs and replacement of the storm drain, which resulted in a sinkhole along Lomas Santa Fe Drive east of Las Banderas Drive and to consider adoption of Resolution 2019-123 to seek ratification of the City Manager's decision to move forward with the emergency repair.

DISCUSSION:

DB Pipeline completed all work associated with the sewer repair project in accordance with the approved plans and specifications of Bid No. 2019-01 to the satisfaction of the City Engineer. The City will release the 5% retention, in the amount of \$20,475, 35 days after the Notice of Completion is approved by the City Council.

The contractor performed additional work on the sewer repair project at the request of Staff and incurred extra expenses due to unforeseen utilities. The extra work included additional utility potholing and the extra effort to install the sewer main under utilities not shown on the plans, compaction testing performed by a geotechnical consultant requested by City Staff, and providing an electronic message board on Linda Mar to notify residents of access restrictions.

At the request of City Staff, the contractor replaced a 35-foot section of deteriorated 18-inch corrugated metal pipe (CMP) storm drain located on the steep slope along the south side of Lomas Santa Fe east of Las Banderas, adjacent to Camino de las Villas. The contractor also repaired the large sinkhole and restored the slope. This pipeline was a component of the storm drain system serving the community north of Lomas Santa Fe and conveying storm runoff across I-5 through the Lomas Santa Fe golf course. The pipe segment was in a stage of deterioration sufficient to cause a localized sinkhole along the slope embankment supporting Lomas Santa Fe. To avoid a possible failure of the Lomas Santa Fe roadway, the City Manager declared an emergency pursuant to Public Contract Code section 20168, and executed a change order to the original contract with DB Pipeline to perform the repairs. Staff is reporting to City Council regarding the emergency nature of this work as required by Public Contract Code section 22050.

The Contractor completed the pipeline replacement work and the corresponding sinkhole repair consistent with the Staff's recommendations to the satisfaction of the City Engineer.

CEQA COMPLIANCE STATEMENT:

The sewer project and storm drain replacement are exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

FISCAL IMPACT:

The Fiscal Year (FY) 2018/19 Capital Improvement Projects budget for Sanitary Sewer Pipeline Replacements (\$500,000) funded the sewer project. Council awarded a \$409,494 contract to DB Pipeline and authorized \$60,000 for construction contingency

for a total construction budget of \$469,494. As noted above, the contractor performed extra work related to the sewer replacement project, totaling \$11,867, which will be paid with the construction contingency. The final sewer project cost is \$421,361. The remaining contract amount will be returned to the Sewer budget unit.

The final cost for the emergency storm drain replacement and the corresponding sinkhole is \$26,784. CIP No. 15 (Storm Drain Improvements – Major) will fund the storm drain replacement.

WORK PLAN:

Although this project was not mentioned in the Work Plan, it is consistent with the Environmental Sustainability section of the Work Plan.

OPTIONS:

- Adopt Staff recommendation.
- Deny Staff recommendation and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council:

1. Adopt Resolution 2019-113:
 - a) Authorizing the City Council to accept as complete the 2019 Sewer Pipeline Replacements, Bid 2019-01, performed by DB Pipeline.
 - b) Authorizing the City Clerk to file a Notice of Completion.
2. Adopt Resolution 2019-123:
 - a) Receiving this report detailing the specifics of the emergency nature of this project.
 - b) Making a finding, based on substantial evidence set forth in the Staff Report, that the emergency would not permit a delay resulting from a competitive solicitation for bids, and that the action was necessary to respond to the emergency.
 - c) Ratifying the City Manager's decision for the emergency storm drain repairs located along south side of Lomas Santa Fe Drive approximately 200 yards east of Las Banderas Drive under the authority of Section 3.08.060 of the Solana Beach Municipal Code (SBMC) which states that the City Manager may make emergency purchases that exceed \$25,000 in response to conditions that

endanger life, health or safety and that those emergency purchases are free from the provisions of Chapter 3.08 of the SBMC.

- d) Authorizing the City Manager to pay all invoices associated with the emergency storm drain repairs located along south side of Lomas Santa Fe Drive approximately 200 yards east of Las Banderas Drive.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution No. 2019-113
2. Resolution No. 2019-123

RESOLUTION 2019-113

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ACCEPTING AS COMPLETE THE SEWER PIPELINE REPLACEMENTS PROJECT, AND AUTHORIZING THE CITY CLERK TO FILE A NOTICE OF COMPLETION

WHEREAS, the Capital Improvement Program (CIP) budget includes funds for Sanitary Sewer Pipeline Replacements, and that the City performed sewer pipeline condition assessments and determined sewer pipelines that needed to be rehabilitated or replaced to improve system reliability; and

WHEREAS, on March 13, 2019, the City Council awarded a construction contract to DB Pipeline for the 2019 Sewer Pipeline Replacements, Bid 2019-01; and

WHEREAS, the Sewer Pipeline Replacements Project has been completed in accordance with the plans and specifications included as part of the public works contract with DB Pipeline to the satisfaction of the City Engineer.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Engineer to accept as complete the 2019 Sewer Pipeline Replacements, Bid 2019-01, performed by DB Pipeline.
3. That the City Council authorizes the City Clerk to file a Notice of Completion for the project.

PASSED AND ADOPTED this 25th day of September 2019, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers
NOES: Councilmembers
ABSTAIN: Councilmembers
ABSENT: Councilmembers

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

RESOLUTION 2019-123

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, RATIFYING EMERGENCY WORK TO REPAIR A STORM DRAIN AND SINKHOLE ALONG LOMAS SANTA FE DRIVE APPROXIMATELY 200 YARDS EAST OF LAS BANDERAS DRIVE

WHEREAS, in response to concerns of a storm drain failure, Staff investigated a storm drain system and found a large sinkhole on the south side of Lomas Santa Fe drive approximately 200 yards east of the Las Banderas intersection and the cause was due to a partially deteriorated underground corrugated metal pipe (CMP) storm drain; and

WHEREAS, the initial investigative work including performing a Closed Circuit Televising (CCTV) and a comprehensive research of the historical design plans revealed a major cavity immediately adjacent to Lomas Santa Fe caused by a deteriorating 18 inch Corrugated Metal Pipe (CMP); and

WHEREAS, Staff determined that the repair of this segment was of urgent nature and engaged the services of DB Pipeline to repair the pipe and sinkhole on an emergency basis; and

WHEREAS, the City Manager authorized the repair of this storm drain system as an emergency pursuant to Resolution No. 2008-091, which authorizes the City Manager to execute necessary agreements for emergency repairs to City infrastructure and pursuant to California Public Contract Code Section 22050.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council receives this report detailing the specifics of the emergency nature of this project.
3. That the City Council makes a finding, based on substantial evidence set forth in the Staff Report, that the emergency would not permit a delay resulting from a competitive solicitation for bids, and that the action was necessary to respond to the emergency.
4. That the City Council ratifies the City Manager's decision for the emergency storm drain repairs located along south side of Lomas Santa Fe Drive approximately 200 yards east of Las Banderas Drive under the authority of Section 3.08.060 of the Solana Beach Municipal Code (SBMC) which states that the City Manager may make emergency purchases that exceed

\$25,000 in response to conditions that endanger life, health or safety and that those emergency purchases are free from the provisions of Chapter 3.08 of the Solana Beach Municipal Code.

5. That the City Council authorizes the City Manager to pay all invoices associated with the emergency storm drain repairs located along south side of Lomas Santa Fe Drive approximately 200 yards east of Las Banderas Drive.

PASSED AND ADOPTED this 25th day of September 2019, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers
NOES: Councilmembers
ABSTAIN: Councilmembers
ABSENT: Councilmembers

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Engineering Department
SUBJECT: **Council Consideration of Resolution 2019-124 Awarding the 2019 Street Maintenance & Repair Project**

BACKGROUND:

In 2016, a City consultant performed a citywide pavement condition assessment to determine the most effective way to budget, repair, replace and preserve City street pavements. Based upon this survey, the consultant prepared a priority list for the City's pavement repairs and maintenance. This list was used to select street segments for this year's street maintenance and repair program. At the April 10, 2019 City Council meeting, Council approved the list of streets for the 2019 Street Maintenance and Repairs Project and authorized the City Engineer to advertise for construction bids. The streets to be resurfaced are listed below:

- South Cedros Avenue, between Rosa Street and Marsolan Avenue
- Barbara Avenue, north of Patty Hill Drive
- Santa Elena
- Santa Estella

In addition to the pavement repairs, this year's program includes improvements for City owned public parking lots to meet American with Disabilities Act (ADA) requirements. The City plans to upgrade all City parking lots over a three year period. Parking lots to be upgraded this Fiscal Year (FY) include the following locations and described improvements:

1. 116 West Plaza Street, Plaza Street North Parking Lot: Reconstruct northwesterly pavement area, next to Acacia, for one van parking stall and construct pedestrian ramp in existing sidewalk.
2. 111 South Sierra Ave, Fletcher Cove Park: Re-paint two existing parking stalls and add signage.

CITY COUNCIL ACTION:

3. 140 South Sierra Ave, Distillery Parking Lot: Reconstruct southwesterly pavement area for four parking stalls, including one van stall, and construct a pedestrian ramp to sidewalk.
4. 535 South Sierra Ave Parking Lot (behind Sand Pebbles Resort): Reconstruct northwesterly pavement area for two parking stalls, including one van stall.
5. 740 South Sierra Ave Parking Lot 11 (next to 777 S. Highway 101): Reconstruct northwesterly pavement area for one van parking stall.

All parking lot improvements include signage to meet ADA requirements, asphalt/concrete resurfacing and corresponding striping to meet ADA requirements. The Fletcher Cove Park parking lot does not need to be resurfaced.

This item is before the City Council to consider adopting Resolution 2019-124 (Attachment 1) awarding a construction contract to PAL General Engineering, Inc. (PAL), the lowest responsive and responsible bidder for the 2019 Street Maintenance & Repair Project.

DISCUSSION:

The proposed pavement maintenance program for Fiscal Year 2019/20 will include pavement overlays. The project would also include localized pavement repairs (dig-outs) throughout the City. Pavement striping and markings would also be performed, not only on those streets that would be resurfaced but also on other roads that need fresh striping and markings.

The 2019 Street Maintenance & Repair Project, Bid No. 2019-04, was prepared and advertised for construction bids. On August 22, 2019, seven bids were received and publicly opened by the City Clerk. The bids are listed in Table 1 below.

Table 1: Bid Results

Contractor	Bid Price
PAL General Engineering, Inc.	\$381,127
SRM Contracting & Paving	\$412,224
Eagle Paving	\$420,000
Hazard Construction	\$424,676
TC Construction Company, Inc.	\$470,000
Blue Pacific Engineering & Construction	\$551,240
RAP Engineering	\$574,240

The bid submitted by PAL was found to be complete and responsive to the bid specifications. PAL has successfully completed previous street repair projects for the

City of Solana Beach. Staff is recommending that PAL be awarded the construction contract. The contract amount is based on the City Engineer’s estimated unit quantities and the contractor’s bid unit prices. The final cost of the project will be based on field measurements and the actual completed quantities. The contract allows 40 working days (8 weeks) to complete the work. The street repairs are anticipated to be completed by the end of December 2019.

CEQA COMPLIANCE STATEMENT:

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

FISCAL IMPACT:

After the project was advertised, Staff received several pothole repair requests through the My Community app and other means. While Staff immediately repaired potholes with cold asphalt mix as a temporary measure, a more permanent fix is to properly saw cut, remove damaged pavement, and use hot asphalt mix as specified in this contract. Since the bid received from the lowest responsible contractor includes favorable unit prices for striping and legends, Staff is recommending a larger than usual contingency in order to provide striping on roadway segments that have deteriorated or faded striping.

In addition to the \$381,127 construction contract, Staff is recommending a contingency of \$95,000 (approximately 25%) for unanticipated and extra work, for a total construction budget of \$476,127. This amount is below the appropriated amount for 2019-2020 budget of \$570,000 as outlined below.

This contract will be funded by two FY 2019/20 Capital Improvement Projects as follows:

CIP No.	Project Title	Fund	Amount
CIP-13	Annual Pavement Management Program	Gas Tax	\$170,000
		TransNet	150,000
		SB1	200,000
	Total CIP-13 Funding		520,000
CIP-12	ADA Transition Plan Projects	General Fund	50,000
	Total Funding		\$570,000

WORK PLAN:

This project is listed in the FY 2019/20 Work Plan under the Unprioritized Community Character Issues.

OPTIONS:

- Approve Staff recommendation.

- Approve Staff recommendation with alternative amendments / modifications.
- Do not approve Staff recommendations.

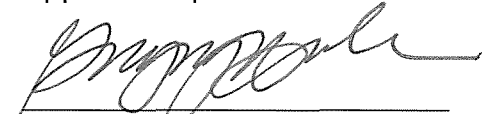
DEPARTMENT RECOMMENDATION:

Staff recommends the City Council consider adoption of Resolution No. 2019-124:

1. Awarding a construction contract for the 2019 Street Maintenance & Repair Project, Bid 2019-04, in the amount of \$381,127, to PAL General Engineering, Inc.
2. Approving an amount of \$95,000 for construction contingency.
3. Authorizing the City Manager to execute the construction contract on behalf of the City.
4. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution No. 2019-124

RESOLUTION NO. 2019-124

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AWARDING A CONSTRUCTION CONTRACT FOR THE 2019 STREET MAINTENANCE & REPAIR PROJECT, BID 2019-04, TO PAL GENERAL ENGINEERING

WHEREAS, the Capital Improvement Program portion of the Fiscal Year (FY) 2019/20 Adopted Budget contains appropriations for an annual pavement repair project; and

WHEREAS, the Engineering Department utilized a citywide pavement condition assessment, field reviews and a review of previous street rehabilitation projects to identify the list of streets to be repaired as part of this project; and

WHEREAS, in response to an advertisement for construction bids, the City received seven bids for the project; and

WHEREAS, on August 22, 2019 the City Clerk opened the construction bids and publicly read the bids aloud.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council awards a construction contract for the 2019 Street Maintenance & Repair Project, Bid 2019-04, in the amount of \$381,127, to PAL General Engineering.
3. That the City Council approves an amount of \$95,000 for construction contingency.
4. That the City Council authorizes the City Manager to execute the construction contract on behalf of the City.

5. That the City Council authorizes the City Manager to approve cumulative change orders up to the construction contingency amount.

PASSED AND ADOPTED this 25th day of September 2019, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Fire Department
SUBJECT: **Council Consideration of Resolution 2019-127 to Purchase Three (3) Cardiac Monitors, One (1) Cardiopulmonary Resuscitation (CPR) Device, And Enter Into a Five (5) Year Service Agreement with Zoll Medical Corporation**

BACKGROUND:

The cardiac monitor is one of the paramedic's most valuable patient care and diagnostic tool, providing a wide range of uses. It is used more than any other piece of Advance Life Support (ALS) equipment in emergencies.

The Solana Beach Fire Department, as well as all CSA-17 ALS Fire Departments, currently uses the Philips HeartStart MRX monitor. This monitor is 5 years old and is reaching the generally accepted range for the useful life of this type of medical equipment (6-8 years). In addition, the cellular modem in the devices are unable to be updated to be compatible with the available network, not allowing the wireless transfer of 12 lead cardiac rhythm strips to local hospitals, as required by County Emergency Medical Services (EMS). The manufacturer has also discontinued providing replacement parts.

Mechanical CPR devices are rapidly becoming the standard of care for EMS in communities around the world, as improvements in technology continue to move forward. Multiple studies have shown that manual CPR cannot be performed safely or effectively while transporting a patient in a moving ambulance. Efficacy of CPR also has been shown to decline over time as providers become fatigued. Local emergency departments are already utilizing the Zoll AutoPulse for mechanical CPR in the emergency rooms. Prehospital mechanical CPR is required during transport for a patient to be eligible to receive Extra-Corporeal Membrane Oxygenation (EMCO) treatment in the emergency department, a potentially life-saving treatment for cardiac arrest.

This item is before City Council to consider adopting Resolution 2019-127 (Attachment 1) to purchase three (3) cardiac monitors, one (1) cardiopulmonary resuscitation (CPR) device, and approving a five (5) year service agreement in the amount of \$117,688 from Zoll Medical Corporation and trade-in existing cardiac monitors.

CITY COUNCIL ACTION:

AGENDA ITEM A.7.

DISCUSSION:

Recognizing that the current cardiac monitors were reaching the end of their service life, the EMS Committee of the Fire Department began evaluating replacement monitors in January of 2019. Evaluation criteria was established and the Committee tested cardiac monitors from two of the three major manufacturers: Physio/Stryker (LifePak) and Zoll Medical Corporation. Philips Healthcare was unable to provide a model for evaluation, as their next generation model has not been approved by the Food and Drug Administration (FDA) for clinical use at the time of evaluation. The Committee selected the Zoll X Series cardiac monitor. This defibrillator/monitor is far more technologically advanced than our current, outdated unit. The Zoll X Series monitor has a CPR dashboard that allows for real time quality feedback during CPR. It also facilitates wireless data transfer of 12 lead cardiac rhythm strips to local hospitals, as required by County EMS, for rapid heart attack screening and allows for data upload directly to patient care reports. The new monitor also has improved quality assurance (QA)/quality improvement (QI) data tracking capabilities.

The Solana Beach Fire Department has existing automatic aid/boundary drop agreements with its surrounding jurisdictions and is part of the CSA-17 EMS Service Area. All of the CSA-17 ALS Fire Departments, as well as our ambulance provider AMR, have agreed to purchase the new Zoll X Series cardiac monitor. This effort will enhance standardization of equipment amongst agencies. The purchase of the same monitor will also provide interoperability when crews run calls together, as they will be using the same cardiac monitors with the same EKG leads, diagnostic tools and pacing pads.

As provided under SBMC 3.08.130(C), the City proposes to purchase the new monitors and CPR device through the competitive bid submitted by Zoll Medical Corporation through a request for proposals (RFP) process approved by the County of Los Angeles. The County of Los Angeles awarded the contract on March 18, 2015 to Zoll Medical Corporation and established contract number MA-IS-1540197-1, Amendment 3 to the contract extended the expiration date to March 31, 2020.

The purchase of three (3) monitors will allow one to be placed into service on each of the two (2) frontline apparatus and one (1) spare on the reserve engine. The one (1) CPR device will be placed in the contract ambulance located in the City of Solana Beach. The reason that the equipment will be stored on the contract ambulance, rather than on fire apparatus, is due to the fact that an ambulance is dispatched to every single cardiac arrest because ambulances cover the response area of multiple fire engines. The CPR device is primarily used as a transport device for the duration of the transport to the hospital, which happens on the ambulance.

Staff is recommending approval to purchase three (3) cardiac monitors, one (1) CPR device, and enter into a five (5) year service agreement in the amount of \$117,688 from Zoll Medical Corporation and trade-in existing cardiac monitors.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

On June 26, 2019, the City Manager signed an amendment to the contract (Attachment 2) with the County of San Diego for Advance Life Support First Responder Services in County of San Diego Service Area 17 (CSA-17). Included in this amendment was an additional one-time funding of \$119,934 in Fiscal Year 2019/20, subject to Council approval, to purchase cardiac monitor replacements and a CPR device. The cost of this equipment will be funded through CSA-17 as part of the amendment; no General Fund monies will be used.

The total cost breakdown for the purchase of three (3) new cardiac monitors, one (1) CPR device, and a total of a five (5) year service agreement is as follows:

3 New Cardiac Monitors -	\$ 102,216*
Trade-In Amount for 3 Old Monitors -	(\$ 10,500)*
5 Year Total Service Agreement -	\$ 10,650*
<u>CPR Device</u>	<u>\$ 15,322**</u>
Total: \$ 117,688	

**The formal quote 310807 V:3 from Zoll Medical Corporation (Attachment 3) for the new cardiac monitors, includes the trade-in of old monitors, and additional four (4) year service agreement, for a total of a five (5) year service agreement. This additional extended warranty is required by the County of San Diego for the equipment.*

***The formal quote 311201 V:2 from Zoll Medical Corporation (Attachment 4) for the CPR device totals \$15,322.*

WORK PLAN:

N/A

OPTIONS:

- Approve Staff recommendation
- Approve Staff recommendation with alternative amendments / modifications.
- Reject Staff recommendation and provide direction.


DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider adoption of Resolution 2019-127:

1. Authorizing the City to utilize the Request for Proposals (RFP) approved by the County of Los Angeles awarding Zoll Medical Corporation the contract to provide for the purchase and warranty of cardiac monitors/defibrillators, accessories/supplies, and upgrades.
2. Authorizing the City Manager to enter into an Agreement with Zoll Medical Corporation for the purchase of three (3) cardiac monitors, one (1) cardiopulmonary resuscitation (CPR) device, enter into a five (5) year service agreement, and approve trade-in of the three (3) existing cardiac monitors in the amount of \$117,688.
3. Authorizing an appropriation into the County Service Area 17 (CSA-17) revenue and expenditure accounts in the Public Safety Special Revenue fund.
4. Authorizing the City Treasurer to amend the FY 2019/20 Adopted Budget accordingly.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution No. 2019-127
2. Amendment 1 to County of San Diego Contract No. 558289
3. Formal Quote from Zoll Medical Corporation for Cardiac Monitors
4. Formal Quote from Zoll Medical Corporation for CPR Devices

RESOLUTION 2019-127

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING PAYMENT TO ZOLL MEDICAL CORPORATION IN AN AMOUNT NOT TO EXCEED \$117,688 FOR THREE NEW CARDIAC MONITORS, ONE CARDIOPULMONARY RESUCITATION DEVICE AND FIVE YEAR SERVICE AGREEMENT.

WHEREAS, the cardiac monitor is one of the paramedic's most valuable patient care and diagnostic tools; and

WHEREAS, the current cardiac monitors are reaching the end of their service life; and

WHEREAS, the Emergency Medical Services committee of the Fire Department evaluated cardiac monitors from three major manufactures and selected cardiac monitors manufactured by Zoll Medical Corporation; and

WHEREAS, pursuant to SBMC Section 3.08.130(C), the City will procure the replacement monitors and cardiopulmonary resuscitation device (CPR) through an agreement awarded to Zoll Medical Corporation through a request for proposal (RFP) process approved by the County of Los Angeles; and

WHEREAS, all of the CSA-17 Advanced Life Support Fire Departments as well as ambulance provider AMR have agreed to purchase the new Zoll monitors and CPR device; and

WHEREAS, including the trade-in value of the current cardiac monitors, the three (3) new monitors, one (1) CPR device and five (5) year service agreement are estimated not to exceed \$117,688.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the use of the Request for Proposal (RFP) approved by the County of Los Angeles awarding Zoll Medical Corporation the contract to provide for the purchase and warranty of cardiac monitors/defibrillators, accessories/supplies, and upgrades.
3. That the City Council authorizes the City Manager to enter into an Agreement with Zoll Medical Corporation for the purchase of three (3) cardiac monitors, one (1) cardiopulmonary resuscitation (CPR) devices,

enter into a five (5) year service agreement, and approve trade-in of the three (3) existing cardiac monitors in the amount not to exceed \$117,688.

4. That the City Council authorizes an appropriation into the County Service Area 17 (CSA-17) revenue and expenditure accounts in the Public Safety Special Revenue fund.
5. That the City Council authorizes the City Treasurer to amend the FY 2019/20 Adopted Budget accordingly.

PASSED AND ADOPTED this 25th day of September, 2019, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

**COUNTY OF SAN DIEGO – DEPARTMENT OF PURCHASING AND CONTRACTING
CONTRACT NO. 558289 AMENDMENT 1**

City of Solana Beach ("Contractor") and the County of San Diego ("County") enter into this amendment ("Amendment") to amend the above-referenced contract ("Contract") as described herein.

Title of Contract: Advanced Life Support First Responder and Emergency Medical Services Support
Effective Date: date signed by Department of Purchasing & Contracting

Description of Contract Change(s):


1. **Contract Terms and Work:**
 - 1.1. **Amend Exhibit C, Payment Schedule to increase funding as follows:**
 - Fiscal Year 2019-2020, increase to a total annual funding of \$193,452.
 - Fiscal Year 2020-2021, increase to a total annual funding of \$70,458.
 - Fiscal Year 2021-2022, increase to a total annual funding of \$72,238.
 - Fiscal Year 2022-2023, increase to a total annual funding of \$74,058.
 - 1.2. **Amend Exhibit C, Payment Schedule, Section 3.5 with updated invoice certification language.**
2. **Compensation: The compensation due to Contractor under the Contract is increased by a maximum amount of \$276,626, for an amended total contract price not to exceed \$441,512.**
3. **Term of Agreement: The Contract time for completion remains unchanged.**

Note: Exhibit C - Payment Schedule is attached for convenience.

All other terms and conditions of the Contract shall remain in effect.

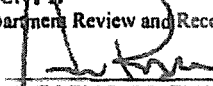
IN WITNESS WHEREOF, County and Contractor have executed this Amendment effective as of the date set forth above. This Amendment is not valid unless signed by Contractor and the County Department of Purchasing and Contracting.

CONTRACTOR:

By: 


GREGORY WADE, City Manager
City of Solana Beach
635 S. Hwy 101
Solana Beach, CA 92075
Phone: (858)720-2431
Email: gwade@cosb.org
Date: 6-26-19

COUNTY:

Department Review and Recommended Approval:
By: 

ANDREW PARR, EMS Administrator
Medical Care Services Division, Emergency Medical Services
Date: 6-25-19

APPROVED:

By: 

JOHN M. BELLEGRINO, Director
Department of Purchasing and Contracting
Date: 6/27/19

County Contract Number 558289
County of San Diego, Health and Human Services Agency
Medical Care Services Division, Emergency Medical Services
Agreement With City of Solana Beach For
Advanced Life Support First Responder and Emergency Medical Services Support
Exhibit C – Payment Schedule

1. **Compensation:** Payment for the services specified in Exhibit A - Statement of Work (SOW) shall be made in accordance with the Payment Schedule after County review and acceptance of an original signed invoice and any required accompanying documentation. Invoices shall be submitted in arrears for work performed in the prior period.

2. **Payment Schedule:**

Contract Term		Fixed Price Per Quarter	Maximum Annual Price	Defibrillator Maintenance per Year	Total Annual Contract Price
FY 18-19	07/01/2018 – 06/30/2019	\$6,759	\$27,036	\$4,270	\$31,306
FY 19-20	07/01/2019 - 06/30/2020	\$15,618	\$62,472	\$4,270	\$66,742
FY 20-21	07/01/2020 - 06/30/2021	\$16,547	\$66,188	\$4,270	\$70,458
FY 21-22	07/01/2021 - 06/30/2022	\$16,992	\$67,968	\$4,270	\$72,238
FY 22-23	07/01/2022 - 06/30/2023	\$17,447	\$69,788	\$4,270	\$74,058

FY 19-20 Only One Time Capital Equipment Purchases	3 Monitor/Defib @ \$35,238 each	1 CPR Device @ \$14,220 each	4 Public Access Defib. @ \$1,694 each	Total One Time Amount
07/01/2019 - 06/30/2020	\$105,714	\$14,220	\$6,776	\$126,710
Total Price for FY 19-20				\$193,452

Total Contract Price	\$441,512
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3. **Invoices**

3.1. Invoices shall be submitted to the County on a quarterly basis by the 20th of the month following the quarter.

County Contract Number 558289
County of San Diego, Health and Human Services Agency
Medical Care Services Division, Emergency Medical Services
Agreement With City of Solana Beach For
Advanced Life Support First Responder and Emergency Medical Services Support
Exhibit C – Payment Schedule

- 3.2. Invoices shall include the contract number, date, description of services provided, certification language shown in Section 3.5 herein, and signature of authorized Contractor representative.
- 3.3. Invoices for defibrillator and monitor maintenance shall be accompanied by documentation of payments made by the Contractor for such items. Invoices for mileage reimbursement shall include a calculation showing the number of miles driven for CSA 17 business multiplied by the standard mileage rate for the period, as published by the Internal Revenue Service. County shall pay the amount supported by the accompanying documentation, but no more than the Maximum Annual Price for each item noted in the Payment Schedule each year.
- 3.4. Invoices and documentation shall be submitted to the following address:
- Emergency Medical Services
6255 Mission Gorge Road
San Diego, CA 92120
Attn: CSA Invoices
- 3.5. Invoices must contain the following certifications:

I certify that the above deliverables and/or services were delivered and/or performed specifically for this Agreement in accordance with the terms and conditions set forth herein.

I further certify, under penalty of perjury under the laws of the State of California, that no employee or entity providing services under the terms and conditions of this Agreement is currently listed as debarred, excluded, suspended, or ineligible on the Federal System for Award Management (SAM: <https://SAM.gov>), the Federal Health and Human Services Office of Inspector General List of Excluded Individuals/Entities (LEIE: <https://exclusions.oig.hhs.gov>), or the State of California Medi-Cal Suspended and Ineligible list (www.medi-cal.ca.gov).

Printed Name

Signature

Date



TO: Solana Beach Fire
 500 Lomas Santa Fe Dr
 Solana Beach, CA 92075

Attn: **Zech Smith**

email: Zsmith@encinitasca.gov

ZOLL Medical Corporation

Worldwide HeadQuarters
 269 Mill Rd
 Chelmsford, Massachusetts 01824-4105
 (978) 421-9655 Main
 (800) 348-9011
 (978) 421-0015 Customer Support
 FEDERAL ID#: 04-2711626

QUOTATION 310807 V:3

DATE: June 25, 2019

TERMS: Net 30 Days

FOB: Shipping Point

FREIGHT: Free Freight

ITEM	MODEL NUMBER	DESCRIPTION	QTY.	UNIT PRICE	DISC PRICE	TOTAL PRICE
1	601-2231011-01	<p>X Series ® Manual Monitor/Defibrillator \$14,995 with 4 trace tri-mode display monitor/ defibrillator/ printer, comes with Real CPR Help®, advisory algorithm, advanced communications package (Wi-Fi, Bluetooth, USB cellular modem capable) USB data transfer capable and large 6.5"(16.5cm) diagonal screen, full 12 ECG lead view with both dynamic and static 12-lead mode display.</p> <p>Accessories Included:</p> <ul style="list-style-type: none"> • MFC cable • MFC CPR connector • A/C power adapter/ battery charger • A/C power cord • One (1) roll printer paper • 6.6 Ah Li-ion battery • Carry case • Declaration of Conformity • Operator's Manual • Quick Reference Guide <p>• One (1)-year EMS warranty</p> <p>Advanced Options: Real CPR Help Expansion Pack \$995 CPR Dashboard quantitative depth and rate in real time, release indicator, interruption timer, perfusion performance indicator (PPI)</p> <ul style="list-style-type: none"> • See - Thru CPR artifact filtering 	3	\$40,020.00	\$28,014.00	\$84,042.00 *

To the extent that ZOLL and Customer, or Customer's Representative have negotiated and executed overriding terms and conditions ("Overriding T's & C's"), those terms and conditions would apply to this quotation. In all other cases, this quote is made subject to ZOLL's Standard Commercial Terms and Conditions ("ZOLL T's & C's") which for capital equipment, accessories and consumables can be found at <http://www.zoll.com/GTC> and for software products can be found at <http://www.zoll.com/SSPTC> and for hosted software products can be found at <http://www.zoll.com/SSHTC>. Except in the case of overriding T's and C's, any Purchase Order ("PO") issued in response to this quotation will be deemed to incorporate ZOLL T's & C's, and any other terms and conditions presented shall have no force or effect except to the extent agreed in writing by ZOLL.

Catherine Prophet Anderson
 Sr. EMS Account Executive
 949-436-4369

1. DELIVERY WILL BE MADE 60-90 DAYS AFTER RECEIPT OF ACCEPTED PURCHASE ORDER.
- 2. PRICES QUOTED ARE VALID UNTIL SEPTEMBER 27, 2019.**
3. APPLICABLE TAX WILL BE ADDED AT THE TIME OF INVOICING.
4. ALL PURCHASE ORDERS ARE SUBJECT TO CREDIT APPROVAL BEFORE ACCEPTABLE BY ZOLL.
5. FAX PURCHASE ORDER AND QUOTATION TO ZOLL CUSTOMER SUPPORT AT 978-421-0015 OR EMAIL TO ESALES@ZOLL.COM.
6. ALL DISCOUNTS OFF LIST PRICE ARE CONTINGENT UPON PAYMENT WITHIN AGREED UPON TERMS.
7. PLACE YOUR ACCESSORY ORDERS ONLINE BY VISITING www.zollwebstore.com.



TO: Solana Beach Fire
 500 Lomas Santa Fe Dr
 Solana Beach, CA 92075

Attn: **Zech Smith**

email: Zsmith@encinitasca.gov

ZOLL Medical Corporation

Worldwide HeadQuarters
 269 Mill Rd
 Chelmsford, Massachusetts 01824-4105
 (978) 421-9655 Main
 (800) 348-9011
 (978) 421-0015 Customer Support
 FEDERAL ID#: 04-2711626

QUOTATION 310807 V:3

DATE: June 25, 2019

TERMS: Net 30 Days

FOB: Shipping Point

FREIGHT: Free Freight

ITEM	MODEL NUMBER	DESCRIPTION	QTY.	UNIT PRICE	DISC PRICE	TOTAL PRICE
		ZOLL Noninvasive Pacing Technology: \$2,550				
		Masimo Pulse Oximetry				
		SP02 & SpCO \$4,540				
		• Signal Extraction Technology (SET)				
		• Rainbow SET (for SpCO & SpMet)				
		NIBP Welch Allyn includes: \$3495				
		• Smartcuff 10 foot Dual Lumen hose				
		• SureBP Reusable Adult Medium Cuff				
		End Tidal Carbon Dioxide monitoring (ETCO2)				
		\$4,995				
		Oridion Microstream Technology:				
		Order required Microstream tubing sets separately				
		Interpretative 12- Lead ECG: \$8,450				
		• 12-Lead one step ECG cable- includes 4- Lead limb lead cable and removable precordial 6- Lead set				
2	8000-000371	SpO2/SpCO/SpMet Rainbow DCI Adult Reusable Sensor with connector (3 ft)	3	\$845.00	\$346.50	\$1,039.50 *

To the extent that ZOLL and Customer, or Customer's Representative have negotiated and executed overriding terms and conditions ("Overriding T's & C's"), those terms and conditions would apply to this quotation. In all other cases, this quote is made subject to ZOLL's Standard Commercial Terms and Conditions ("ZOLL T's & C's") which for capital equipment, accessories and consumables can be found at <http://www.zoll.com/GTC> and for software products can be found at <http://www.zoll.com/SSPTC> and for hosted software products can be found at <http://www.zoll.com/SSHTC>. Except in the case of overriding T's and C's, any Purchase Order ("PO") issued in response to this quotation will be deemed to incorporate ZOLL T's & C's, and any other terms and conditions presented shall have no force or effect except to the extent agreed in writing by ZOLL.

Catherine Prophet Anderson
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 949-436-4369

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7. PLACE YOUR ACCESSORY ORDERS ONLINE BY VISITING www.zollwebstore.com.



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 FEDERAL ID#: 04-2711626

TO: Solana Beach Fire
 500 Lomas Santa Fe Dr
 Solana Beach, CA 92075

Attn: **Zech Smith**

email: Zsmith@encinitasca.gov

QUOTATION 310807 V:3

DATE: June 25, 2019

TERMS: Net 30 Days

FOB: Shipping Point

FREIGHT: Free Freight

ITEM	MODEL NUMBER	DESCRIPTION	QTY.	UNIT PRICE	DISC PRICE	TOTAL PRICE	
3	8000-0341	SpO2/SpCO/SpMet Rainbow Resuable Patient Cable: Connects to Single Use Sensors (4 ft)	3	\$245.00	\$157.50	\$472.50	*
4	8000-0580-01	Six hour rechargeable Smart battery	6	\$495.00	\$346.50	\$2,079.00	*
5	8200-000100-01	Single Bay Charger for the SurePower and SurePower II batteries.	3	\$945.00	\$661.50	\$1,984.50	*
6	8000-001405-01	Kit, MultiTech MTC Cat M1 Cell Modem, Verizon	3	\$895.00	\$895.00	\$2,685.00	*
7	8778-0107	4 Year Extended Warranty At Time of Equipment Sale (Depot).	3	\$3,550.00	\$3,550.00	\$10,650.00	
8	8778-0117	4 Year, 1 Preventative Maintenance (at time of equipment sale)	3	\$920.00	\$920.00	\$2,760.00	
9	7800-0214	MRX Biphasic w/Pacing, 12 lead + 3 parameters Trade-In	3		(\$3,500.00)	(\$10,500.00)	**
10		Estimated Sales Tax at 7.75%:				\$7,153.44	

To the extent that ZOLL and Customer, or Customer's Representative have negotiated and executed overriding terms and conditions ("Overriding T's & C's"), those terms and conditions would apply to this quotation. In all other cases, this quote is made subject to ZOLL's Standard Commercial Terms and Conditions ("ZOLL T's & C's") which for capital equipment, accessories and consumables can be found at <http://www.zoll.com/GTC> and for software products can be found at <http://www.zoll.com/SSPTC> and for hosted software products can be found at <http://www.zoll.com/SSHTC>. Except in the case of overriding T's and C's, any Purchase Order ("PO") issued in response to this quotation will be deemed to incorporate ZOLL T's & C's, and any other terms and conditions presented shall have no force or effect except to the extent agreed in writing by ZOLL.

Catherine Prophet Anderson
 Sr. EMS Account Executive
 949-436-4369

1. DELIVERY WILL BE MADE 60-90 DAYS AFTER RECEIPT OF ACCEPTED PURCHASE ORDER.
2. PRICES QUOTED ARE VALID UNTIL SEPTEMBER 27, 2019.
3. APPLICABLE TAX WILL BE ADDED AT THE TIME OF INVOICING.
4. ALL PURCHASE ORDERS ARE SUBJECT TO CREDIT APPROVAL BEFORE ACCEPTABLE BY ZOLL.
5. FAX PURCHASE ORDER AND QUOTATION TO ZOLL CUSTOMER SUPPORT AT 978-421-0015 OR EMAIL TO ESALES@ZOLL.COM.
6. ALL DISCOUNTS OFF LIST PRICE ARE CONTINGENT UPON PAYMENT WITHIN AGREED UPON TERMS.
7. PLACE YOUR ACCESSORY ORDERS ONLINE BY VISITING www.zollwebstore.com.



TO: Solana Beach Fire
 500 Lomas Santa Fe Dr
 Solana Beach, CA 92075

Attn: **Zech Smith**

email: Zsmith@encinitasca.gov

ZOLL Medical Corporation

Worldwide HeadQuarters
 269 Mill Rd
 Chelmsford, Massachusetts 01824-4105
 (978) 421-9655 Main
 (800) 348-9011
 (978) 421-0015 Customer Support
 FEDERAL ID#: 04-2711626

QUOTATION 310807 V:3

DATE: June 25, 2019

TERMS: Net 30 Days

FOB: Shipping Point

FREIGHT: Free Freight

ITEM	MODEL NUMBER	DESCRIPTION	QTY.	UNIT PRICE	DISC PRICE	TOTAL PRICE
		<p>*Reflects LA County Fire Contract # MA-IS-1540197 Pricing.</p> <p>**Trade-In Value valid if all equipment purchased is in good operational and cosmetic condition, and includes all standard accessories. Customer assumes responsibility for shipping trade-in equipment to ZOLL Chelmsford within 60 days of receipt of new equipment. Customer agrees to pay cash value for trade-in equipment not shipped to ZOLL on a timely basis.</p> <p>**Trade value guaranteed only through September 27, 2019.</p>				

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TOTAL \$102,365.94

Catherine Prophet Anderson
 Sr. EMS Account Executive
 949-436-4369

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TO: Solana Beach Fire
 500 Lomas Santa Fe Dr
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Attn: **Zech Smith**

email: Zsmith@encinitasca.gov

ZOLL Medical Corporation

Worldwide HeadQuarters
 269 Mill Rd
 Chelmsford, Massachusetts 01824-4105
 (978) 421-9655 Main
 (800) 348-9011
 (978) 421-0015 Customer Support
 FEDERAL ID#: 04-2711626

QUOTATION 311201 V:2

DATE: June 26, 2019

TERMS: Net 30 Days

FOB: Shipping Point

FREIGHT: Free Freight

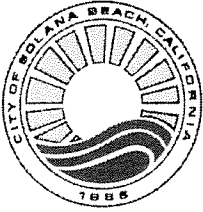
ITEM	MODEL NUMBER	DESCRIPTION	QTY.	UNIT PRICE	DISC PRICE	TOTAL PRICE
10	8700-0730-01	AutoPulse® System with Pass Thru - Generates consistent and uninterrupted chest compressions, offering improved blood flow during cardiac arrest. Includes Backboard, User Guide, Quick Reference Guide, Shoulder Restraints, Backboard Cable Ties, Head Immobilizer, Grip Strips, In-service Training DVD, and one year warranty.	1	\$10,995.00	\$10,995.00	\$10,995.00
11	8700-0706-01	LifeBand® 3 pack - Single-use chest compression band. (3 per package)	2	\$375.00	\$375.00	\$750.00
12	8700-0752-01	AutoPulse® Li-Ion Battery - for use with the AutoPulse Platform.	3	\$825.00	\$825.00	\$2,475.00
13	8700-0753-01	Autopulse SurePower Charger, U.S. Tests, Charges and automatically verifies battery charge level. Includes User Guide and U.S Power Cord. Standard one (1) year warranty.	1	\$2,295.00	No Charge	No Charge ***
14	8700-000850-40	AutoPulse® Quick Case, Blue - All-in-one carrying case and patient moving sheet for the Autopulse Resuscitation System.	1	\$495.00	No Charge	No Charge ***
6		Estimated Sales Tax at 7.75%:				\$1,102.05
***Reflects Promotional Pricing valid until September 27, 2019.						

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TOTAL \$15,322.05

Catherine Prophet Anderson
 Sr. EMS Account Executive
 949-436-4369

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STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: City Manager's Department
SUBJECT: Solana Energy Alliance – 2018 Power Content Label and Attestation

BACKGROUND:

Community Choice Aggregation (“CCA”), authorized by Assembly Bill 117, is a state law that allows cities, counties and other authorized entities to aggregate electricity demand within their jurisdictions in order to purchase and/or generate alternative energy supplies for residents and businesses within their jurisdiction while maintaining the existing electricity provider for transmission and distribution services. The goal of a CCA is to provide a higher percentage of renewable energy electricity at competitive and potentially cheaper rates than existing Investor Owned Utilities (“IOU”s), while giving consumers local choices and promoting the development of renewable power sources and programs and local job growth.

The City of Solana Beach’s (“City”) CCA, Solana Energy Alliance (“SEA”), was established by the City Council through adoption of Ordinance 483 on December 13, 2017 and began serving customers in June 2018. SEA is the first CCA to launch in San Diego Gas & Electric territory and remains the only CCA currently operating in San Diego County.

This item is before Council to attest to the accuracy of information provided in SEA’s 2018 Power Content Label (Attachment 1) based on Staff’s review, consultant input and review and an independent auditor report in order to comply with the California Energy Commission’s (CEC) Power Source Disclosure Program.

DISCUSSION:

California Public Utilities Code requires all retail sellers of electric energy, including SEA, to disclose “accurate, reliable, and simple-to-understand information on sources of energy” that are delivered to their respective customers. Applicable regulations direct retail sellers to provide such communications prior to October 1st of each year. The

CITY COUNCIL ACTION:

format for requisite communications is highly prescriptive, offering little flexibility to retail sellers when presenting such information to customers. This format has been termed the Power Content Label, or PCL, by the CEC. Since SEA launched in 2018, this is the first year that the PCL is required for SEA.

Information presented in the PCL includes the share of total energy supply related to various resource types including both renewable and conventional energy sources. If a retail seller meets a certain percentage of its supply obligation from unspecified resources, the report must identify such purchases as “unspecified sources of power”. Unspecified sources of power refer to electricity that cannot be traced back to a specific generator, such as energy purchased from the market at large or from broadly defined portfolios of generating resources.

During the 2018 calendar year, SEA delivered a substantial portion of its electric energy supply from renewable energy sources, including geothermal and wind. For SEA Choice customers, 48% of total energy supply was sourced from renewable energy resources and 75% from carbon free sources. For SEA Green customers, 100% of energy deliveries were sourced from renewable energy resources, specifically wind sources.

The renewable energy content of the SEA Choice product during the first seven months of operation fell slightly under SEA's target of 50% renewable energy. The shortfall resulted from actual customer usage exceeding forecast usage at the time SEA conducted its initial procurement by approximately 4%. A forecast error of this magnitude is common when a new CCA launches due to the lack of operating history and limited load data available to CCAs at program launch. Measuring over a partial year also provided insufficient time to identify a trend in consumption and then make an incremental renewable purchase in response.

Consistent with applicable regulations, SEA will complete required customer communications on or before October 1st. All customers currently enrolled in the SEA program will receive the PCL via U.S. mail. The PCL form is a CEC template, which each retail seller is expected to complete. A copy of SEA's PCL is attached for reference (Attachment 1).

To fulfill its Power Source Disclosure Program reporting obligations for 2018, SEA must also provide the CEC with its Council's attestation regarding the accuracy of information included in the PCL. Current Power Source Disclosure Program regulations allow public agencies, including SEA, to provide a self-attestation with regard to the accuracy of information reported for one retail electric service offering (in this case, SEA Choice) so long as any other retail service offering (in this case, SEA Green) is subject to a third-party review in accordance with procedures reflected in the current Power Source Disclosure Program regulations.

It is recommended, based on reviews previously completed by Staff and external technical consultants, that Council attest to the accuracy of information included in the

2018 PCL related to the SEA Choice supply portfolio. Staff also advises Council that, in conformance with applicable regulations, the requisite third-party audit is now underway for the 2018 SEA Green supply portfolio with timely completion expected by end of September 2019.

Upon approval, a copy of this Staff Report and related meeting minutes will be forwarded to the CEC, thereby completing SEA's PCL reporting obligation for the 2018 calendar year.

CEQA COMPLIANCE STATEMENT:

The action being considered by the City Council is exempt from the California Environmental Quality Act (CEQA) because it is not a "project" under Section 15378(b)(5) of CEQA Guidelines.

FISCAL IMPACT:

SEA currently provides its customers with a 3% discount on energy generation costs compared to SDG&E rates. This action does not result in any fiscal impact. The costs of mailing of the Power Content Label was included in the approved Fiscal Year 2019/20 budget.

WORK PLAN:

Environmental Sustainability – Policy Development – Implement Solana Energy Alliance

OPTIONS:


- Approve Staff recommendation
- Do not approve Staff recommendation
- Provide alternative direction to Staff

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council attest to the accuracy of information provided in Solana Energy Alliance's 2018 Power Content Label based on Staff's review, consultant input and review and an independent auditor report.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation.



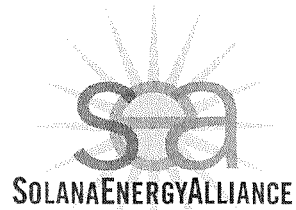
Gregory Wade, City Manager

Attachments:

1. SEA 2018 Power Content Label

2018 POWER CONTENT LABEL
 CITY OF SOLANA BEACH / SOLANA ENERGY ALLIANCE
www.SolanaEnergyAlliance.org/about/PowerSources

ENERGY RESOURCES	2018 SEA CHOICE POWER MIX	2018 SEA GREEN POWER MIX	2018 CA POWER MIX**
Eligible Renewable	48%	100%	31%
- Biomass & Biowaste	0%	0%	2%
- Geothermal	21%	0%	5%
- Eligible Hydroelectric	0%	0%	2%
- Solar	0%	0%	11%
- Wind	27%	100%	11%
Coal	0%	0%	3%
Large Hydroelectric	27%	0%	11%
Natural Gas	0%	0%	35%
Nuclear	0%	0%	9%
Other	0%	0%	<1%
Unspecified sources of power*	25%	0%	11%
TOTAL	100%	100%	100%
* "Unspecified sources of power" means electricity from transactions that are not traceable to specific generation sources.			
** Percentages are estimated annually by the California Energy Commission based on the electricity generated in California and net imports as reported to the Quarterly Fuel and Energy Report database and the Power Source Disclosure program.			
For specific information about this electricity product, contact:	City of Solana Beach/Solana Energy Alliance (858) 720-4422		
For general information about the Power Content Label, please visit:	http://www.energy.ca.gov/pcl/		
For additional questions, please contact the California Energy Commission at:	Toll-free in California: 844-454-2906 Outside California: 916-653-0237		



A Service of the City of Solana Beach

Solana Energy Alliance

City of Solana Beach
635 S. Highway 101
Solana Beach, CA 92075

PRSR STD
U.S. POSTAGE
PAID
MINUTEMAN
PRESS



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for DRP to Demolish a Single-Family Residence, Construct a Replacement Single-Story, Single-Family Residence with an Attached Three-Car Garage, and Perform Associated Site Improvements at 4250 North Lane. (Case # 17-19-01 Applicant: Brad Fomon; APN: 298-200-20; Resolution No. 2019-128)**

BACKGROUND:

The Applicant, Brad Fomon, is requesting City Council approval of a Development Review Permit (DRP) to demolish a single-family residence, construct a replacement single-story, single-family residence with an attached three-car garage, and perform associated site improvements at 4250 North Lane. The 74,436 square-foot vacant lot is located within the Estate Residential (ER-1) Zone.

The project proposes grading in the amounts of 1,050 cubic yards of cut, 1,980 cubic yards of fill, 930 cubic yards of import, and 1,450 cubic yards of remedial grading. The total aggregate grading quantity would be 4,480 cubic yards. The project requires a DRP for an aggregate grading quantity in excess of 100 cubic yards. The maximum building height would be 15.92 feet above the proposed grade or 332.9 feet above Mean Sea Level (MSL) and 15.83 feet above the pre-existing grade. As proposed, the project would not require a Structure Development Permit (SDP) because the structure would not exceed 16 feet in height above the pre-existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2019-128 (Attachment 1).

DISCUSSION:

The property is located on the north side of North Lane, which is a private drive accessed from Highland Drive. The property is located on the City's eastern boundary adjacent to the County of San Diego. The lot is currently developed with a single-family residence,

CITY COUNCIL ACTION:

which the Applicant proposes to demolish. The topography of the lot slopes upward significantly from the North Lane road easement to the existing building pad and beyond to the rear property line with an overall change in elevation of approximately 27 feet. The lot also slopes down from the existing building pad and driveway to the east.

The Applicant proposes to construct a replacement single-story, single-family residence that would expand upon the existing footprint. The structure would be setback approximately 66 feet from the southern front property line (northern edge of the private road easement), 15 feet from the western side property line, 53 feet from the eastern side property line, and 52 feet from the northern rear property line. The Applicant redesigned the existing driveway to meet required access standards; however, the driveway would maintain the general approach up the eastern side of the property from the North Lane road easement to the building pad.

The Applicant proposes to construct a 5,042 square-foot, single-story residence, with a 95 square-foot covered patio and a 1,134 square-foot, attached three-car garage. The proposal includes associated site improvements including: cut and fill grading, a pool and spa, a detached covered patio and outdoor kitchen, two bio retention basins, hardscape, retaining walls, and landscaping. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant's proposed design.

Table 1			
LOT INFORMATION			
Property Address:	4250 North Ln.	Zoning Designation:	ER-1 (1 du/ac)
Lot Size (Gross):	74,436 ft ²	# of Units Allowed:	1 Dwelling Unit, 1 ADU
Max. Allowable Floor Area:	15,665 ft ²	# of Units Requested:	1 Dwelling Unit
Proposed Floor Area:	5,871 ft ²	Setbacks:	Required Proposed
Below Max. Floor Area by:	9,794 ft ²	Front (S)**	35 ft. 66 ft.
Max. Allowable Height:	25 ft.	Interior Side (W)	15 ft. 15 ft.
Max. Proposed Height:	*15.92 ft.	Interior Side (E)	15 ft. 53 ft.
Highest Point/Ridge:	332.9 MSL	Rear (N)	50 ft. 52 ft.
*Height Above Proposed Grade:		**Measured from edge of private drive easement	
PROPOSED PROJECT INFORMATION			
Floor Area Breakdown:		Required Permits: DRP:	A DRP is required for grading in excess of 100 cubic yards (aggregate)
Living Area	5,042 ft ²	Proposed Parking:	3 Spaces Attached Garage
Attached Garage	1,134 ft ²	Proposed Fences and Walls:	Yes
Outdoor Covered Area	95 ft ²	Proposed Accessory Dwelling Unit:	No
Subtotal	6,271 ft ²	Proposed Accessory Structure:	Yes
Off-Street Parking Exemption	- 400 ft ²	Existing Development:	Single-Family Residence to be Demolished
Total Floor Area:	5,871 ft²		
Proposed Grading:	Cut: 1,050 yd ³	Fill: 1,980 yd ³	Import: 930 yd ³ Remedial: 1,450 yd ³

Staff has prepared draft findings for approval of the project in the attached Resolution 2019-128 for Council's consideration based upon the information in this report. The

applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the public hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2019-128.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposal includes an aggregate grading quantity that would exceed 100 cubic yards. In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2019-128 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the ER Zone. Properties to the north, south and west are also located within the ER Zone and developed with a mixture of one- and two-story single-family residences. The property is located on the City's eastern boundary and the properties immediately to the east are located within the County of San Diego's jurisdiction and the community of Rancho Santa Fe.

The project, as designed, is consistent with the permitted uses for the ER Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Estate Residential in the General Plan and intended for single-family estate residences developed at a maximum density of one dwelling unit per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan or Overlay Zone areas; however, it is located within the Coastal Zone. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

Building and Structure Placement:

The Applicant proposes to construct a replacement single-story, single-family residence with an attached three-car garage and perform associated improvements including grading, hardscaping, landscaping, and construction of a pool, spa, detached covered patio, and outdoor kitchen. The project would maintain the general site configuration of the existing development with the residence located on the existing upper building pad and driveway access taken along the southern side of the property from the lower private drive (North Lane).

The 5,042 square-foot single-story residence would consist of: an open-concept kitchen, living room, breakfast nook, and dining room; a utility room, a pantry, a guest/pool full bathroom; an office; a play room; four bedrooms each with on-suite full bathrooms and walk-in closets; and a master suite. The project would include a 1,134 square-foot, attached three-car garage and a covered patio 95 square feet of which would contribute to the total floor area of the project. The subtotal of the proposed floor area for the project would be 6,271 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200

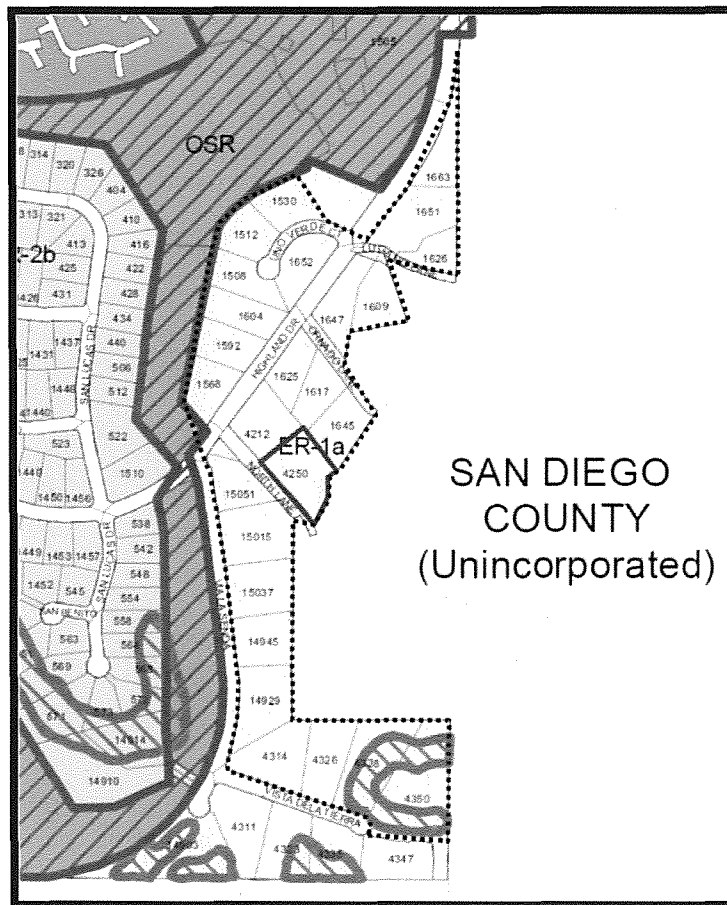
square feet of floor area is exempted for each required space. The site is required to provide two parking spaces; therefore, the project is afforded a 400 square-foot exemption. With the exemption, the total proposed floor area would be 5,871 square feet, which is 9,794 square feet below the maximum allowable floor area for the 74,436 square-foot lot. The maximum floor area calculation for this project is as follows:

0.60 for first 5,000 ft ²	3,000 ft ²
0.30 for 5,000 to 20,000 ft ²	4,500 ft ²
0.15 for anything over 20,000 ft ²	8,165 ft ²
<u>Maximum Allowable Floor Area:</u>	<u>15,665 ft²</u>

The proposed project, as designed, meets the minimum required setbacks and is below the maximum allowable floor area for the property.

Neighborhood Comparison:

Staff compared the proposed project to 23 other properties within the surrounding area. This area includes properties on North Lane, Highland Drive, Uno Verde Court, Lugano Lane, Via la Senda, and Vista de la Tierra, as shown on the following map.



The properties evaluated in this comparison are also located in the ER Zone. The existing homes range in size from 656 square feet to 8,763 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage or covered porch areas in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garage and the outdoor covered area:

Project Gross Building Area:	6,271 ft ²
Delete Outdoor Covered Area:	- 95 ft ²
Delete Attached Garage:	- 1,134 ft ²
<u>Project Area for Comparison to Assessor's Data:</u>	<u>5,042 ft²</u>

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (GIS)	Existing ft ² Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	1647 Highland Dr	57,935	3,528		13,190	ER
2	1609 Lugano Ln	48,352	656		11,753	ER
3	1645 Oranado Ln	57,064	4,262		13,060	ER
4	1617 Oranado Ln	52,708	3,820		12,406	ER
5	1615 Oranado Ln	45,738	2,620		11,361	ER
6	4250 North Ln	74,436	2,190	5,042	15,665	ER
7	4212 North Ln	72,745	2,614		15,412	ER
8	1568 Highland Dr	43,560	5,814		11,034	ER
9	1592 Highland Dr	43,560	5,519		11,034	ER
10	1604 Highland Dr	43,560	5,969		11,034	ER
11	1502 Uno Verde Ct	47,916	4,249		11,687	ER
12	1508 Uno Verde Ct	43,560	4,361		11,034	ER
13	1512 Uno Verde Ct	43,560	4,230		11,034	ER
14	1530 Uno Verde Ct	43,560	5,736		11,034	ER
15	1626 Lugano Ln	44,431	4,278		11,165	ER
16	1651 Highland Dr	74,052	5,492		15,608	ER
17	15051 Via la Senda	48,787	2,935		11,818	ER
18	15037 Via la Senda	66,647	5,529		14,497	ER
19	15015 Via la Senda	59,242	4,424		13,386	ER
20	14945 Via la Senda	50,530	4,322		12,080	ER
21	4326 Vista de la Tierra	56,192	6,315		12,929	ER
22	4338 Vista de la Tierra	79,279	4,082		16,392	ER
23	4350 Vista de la Tierra	110,207	4,724		21,031	ER
24	14929 Via la Senda	61,420	4,958		13,713	ER

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences and walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

The Applicant proposes to construct a maximum three-foot high retaining wall that would follow the bottom of the eastern slope below the driveway and building pad. Existing perimeter fencing surrounding the property is located on adjacent properties and would be maintained with the project. The Applicant proposes to install a five-foot high removable pool safety fence surrounding the proposed pool.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to be in compliance with the Municipal Code.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicant is proposing to construct an attached, three-car garage accessed by a redesigned driveway on the southern side of the property. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide three 9-foot by 19-foot parking spaces that are clear of obstruction. Two spaces are required, therefore, 400 square feet of garage area is exempt from the project's total floor area calculation.

Grading:

The project proposes grading in the amounts of 1,050 cubic yards of cut, 1,980 cubic yards of fill, 930 cubic yards of import, and 1,450 cubic yards of remedial grading. Grading is proposed to modify the existing driveway to meet fire apparatus and vehicular access to the upper building pad from North Lane, to lower and even out the existing building pad, and to provide for two stormwater detention basins.

Lighting:

Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of a replacement single-story, single-family residence on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Impact Fee.

Structure Development Permit Compliance:

The proposed structure would not exceed 16 feet in height above the pre-existing grade. Therefore, the Applicant is not required to obtain a SDP. The project plans show the maximum structure height would be 15.92 feet measured above the proposed grade or 332.9 feet above MSL. As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the structure would not exceed 16 feet from the pre-existing grade.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on September 12, 2019. Staff has received three letters in support of the project and inquiries about the proposed development.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the Resolution of Approval.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and

location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2019-128.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of DRP.
- Deny the project if all required findings for the DRP cannot be made.


DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2019-128 conditionally approving a DRP to demolish a single-family residence, construct a replacement single-story, single-family residence with an attached three-car garage, and perform associated site improvements at 4250 North Lane, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2019-128
2. Project Plans

RESOLUTION 2019-128

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT FOR THE DEMOLITION OF A SINGLE-FAMILY RESIDENCE, CONSTRUCTION OF A REPLACEMENT SINGLE-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED THREE-CAR GARAGE, AND PERFORM ASSOCIATED SITE IMPROVEMENTS ON A PROPERTY LOCATED AT 4250 NORTH LANE, SOLANA BEACH

**APPLICANT: BRAD FOMON
CASE NO.: 17-19-01 DRP**

WHEREAS, Brad Fomon (hereinafter referred to as the "Applicant"), has submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on September 25, 2019, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP to demolish a single-family residence, construct a replacement single-story, single-family residence with an attached three-car garage, and perform associated site improvements at 4250 North Lane, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

ATTACHMENT 1

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Estate Residential (ER) which allows for single-family estate residential development with a maximum density of 1 dwelling unit per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the ER Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum allowable Floor Area (FAR), maximum building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the ER Zone. Properties to the north, south and west are also located within the ER Zone and developed with a mixture of one- and two-story single-family estate residences. The property is located on the City's eastern boundary and the properties immediately to the east are located within the County of San Diego's jurisdiction and the community of Rancho Santa Fe.

The project, as designed, is consistent with the permitted uses for the ER Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Estate Residential in the General Plan and intended for single-family estate residences developed at a maximum density of one dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan or Overlay Zone areas; however, it is located within the Coastal Zone. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicant proposes to construct a replacement single-story, single-family residence with an attached three-car garage and perform associated improvements including grading, hardscaping, landscaping, and construction of a pool, spa, detached covered patio, and outdoor kitchen. The project will maintain the general site configuration of the existing development with the residence located on the existing upper building pad and driveway access taken along the southern side of the property from the lower private drive (North Lane).

The 5,042 square-foot single-story residence will consist of: an open-concept kitchen, living room, breakfast nook, and dining room; a utility room, a pantry, a guest/pool full bathroom; an office; a play room; four bedrooms, each with on-suite full bathrooms and walk-in closets; and a master suite. The project will include a 1,134 square-foot, attached three-car garage and a covered patio that would partially (95 square feet) contribute to the total floor area of the project. The subtotal of the proposed floor area for the project will be 6,271 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The site is required to provide two parking spaces; therefore, the project is

afforded a 400 square-foot exemption. With the exemption, the total proposed floor area will be 5,871 square feet, which is 9,794 square feet below the maximum allowable floor area for the 74,436 square-foot lot. The maximum floor area calculation for this project is as follows:

0.60 for first 5,000 ft ²	3,000 ft ²
0.30 for 5,000 to 20,000 ft ²	4,500 ft ²
0.15 for anything over 20,000 ft ²	8,165 ft ²
<hr/> Maximum Allowable Floor Area:	<hr/> 15,665 ft ²

The proposed project, as designed, meets the minimum required setbacks and is below the maximum allowable floor area for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicant is proposing to construct an attached, three-car garage accessed by a redesigned driveway on the southern side of the property. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide three 9 foot by 19 foot parking spaces that are clear of obstruction. Two spaces are required, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project proposes grading in the amounts of 1,050 cubic yards of cut, 1,980 cubic yards of fill, 930 cubic yards of import, and 1,450 cubic yards of remedial grading. Grading is proposed to modify the existing driveway to meet fire apparatus and vehicular access to the upper building pad from North Lane, to lower and even out the existing building pad, and to provide for two stormwater detention basins.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a replacement single-story, single-family residence with an attached garage on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Development Impact Fee.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building and Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure will not exceed 16 feet in height above the pre-existing grade. Therefore, the Applicant was not required to obtain a Structure Development Permit. The project plans show the maximum structure height would be 15.92 feet measured above the proposed grade or 332.9 feet above MSL.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the structure would not exceed 16 feet as measured from the pre-existing grade.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

- A. Community Development Department Conditions:

- I. The Applicant shall pay required Public Facilities, Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by

SBMC Chapter 17.72.020, Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolutions 1987-36 and 2018-147.

- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on September 25, 2019, and located in the project file with a submittal date of September 17, 2019.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with the plans as approved by the City Council on September 25, 2019 and the structure does not exceed 16 feet from the pre-existing grade.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- VI. The Applicant shall submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect and shall be in substantial conformance with the conceptual plan presented to the City Council on September 25, 2019. In addition, the City's third-party landscape architect will perform a final inspection to verify substantial conformance onsite prior to final completion of construction.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street

and minimize impact to the surrounding neighbors.

- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.
- B. Fire Department Conditions:
- I. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per Solana Beach Fire Department standards.
 - II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
 - III. FIRE HYDRANTS AND FIRE FLOWS: The Applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets.
 - Show the location of nearest fire hydrant.
 - IV. FUEL MODIFICATION ZONES/FIRE BREAKS: The Applicant shall provide and maintain fire/fuel breaks to the satisfaction of the Solana Beach Fire Department. Fire/fuel breaks size and composition shall be determined by the Fire Department and shown on the improvement /grading plans and final map and building plans.
 - V. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required

where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.

- VI. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- VII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

C. Engineering Department Conditions:

- I. Letters of permission to grade shall be obtained from adjoining property owners for grading that is within three feet of the property line or on adjacent properties. Cut and fill slopes shall be set back from site boundaries and buildings shall be set back from cut or fill slopes in accordance with SBMC 15.40.140.
- II. The Applicant shall prepare a City of Solana Beach Stormwater Checklist for Determination of Project Category to address potential water quality impacts to ensure that pollutants and runoff from this development are reduced to the maximum extent practicable.
- III. Complete to the satisfaction of the City Engineer all grading, paving, public improvements, landscaping, and drainage improvements.
- IV. Underground all new utility services including, but not limited to, electrical and telephone.
- V. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- VI. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the Solana Beach Municipal Code which allows otherwise.
- VII. It is recommended that the existing and proposed driveway is realigned to connect to North Lane at a perpendicular configuration.

GRADING

- VIII. Obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a Grading Permit shall include, but not be limited to, the following:
- a. The grading plan shall be prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. A Soils Report shall be prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
 - c. Provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to Final Inspection of the Building Permit.
 - d. All retaining walls and drainage structures shall be shown. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development Department for further information.
 - e. The Applicant is responsible to protect the adjacent properties during construction. If any grading or other types of construction are anticipated beyond the property lines, the Applicant shall obtain a written permission from the adjoining property owners for incidental grading or construction that may occur and submit the letter to the City Engineer prior to the anticipated work.
 - f. Pay grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal.

Inspection fees shall be paid prior to issuance of the Grading Permit.

- g. Obtain and submit grading security in a form prescribed by the City Engineer.
- h. Obtain a Haul Permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- i. Submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- k. Show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. No increased cross lot drainage shall be allowed.

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 25th day of September, 2019, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

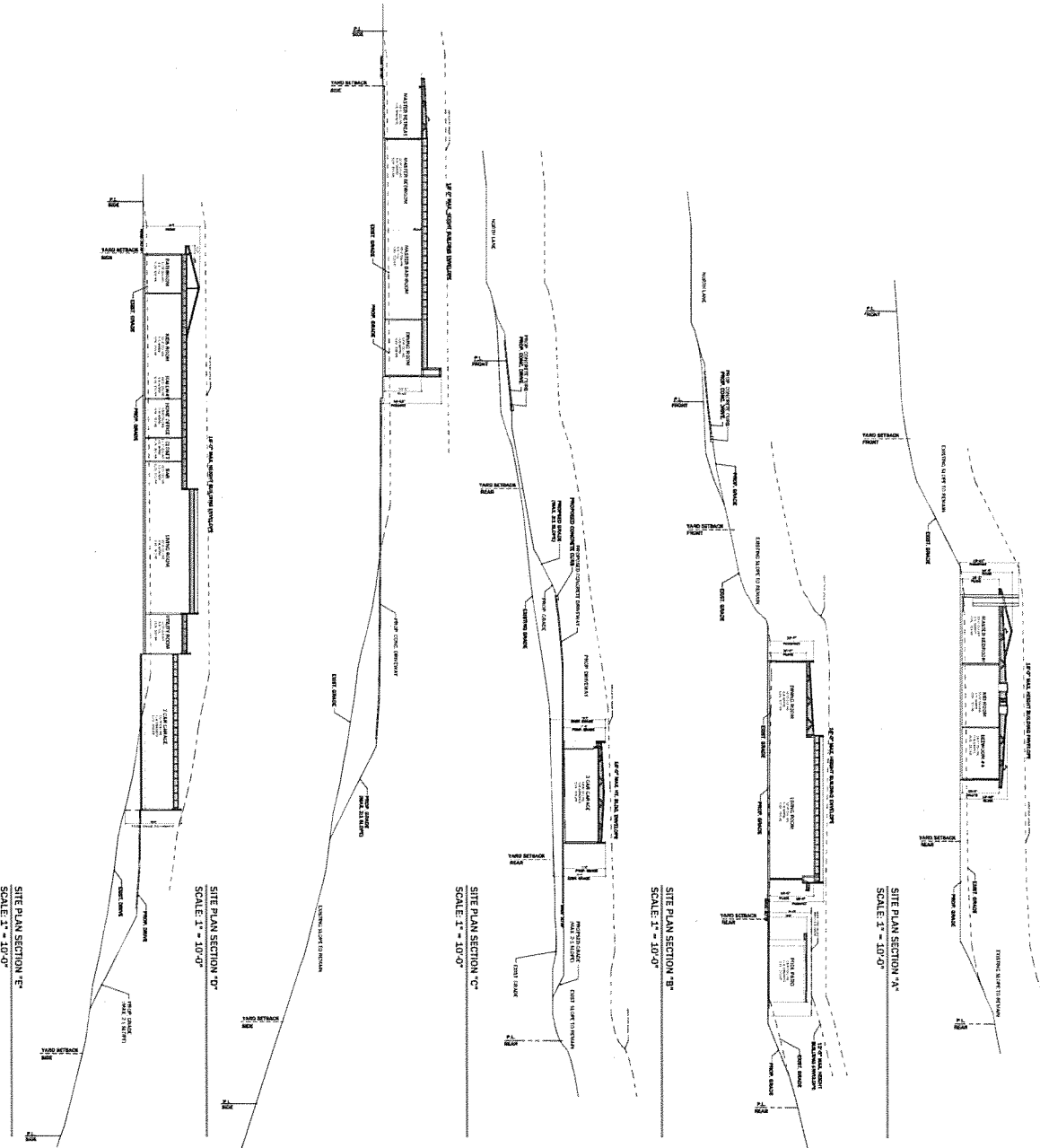
DAVID A. ZITO, MAYOR

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



SITE PLAN SECTION "A"
SCALE 1" = 10'-0"

SITE PLAN SECTION "B"
SCALE 1" = 10'-0"

SITE PLAN SECTION "C"
SCALE 1" = 10'-0"

SITE PLAN SECTION "D"
SCALE 1" = 10'-0"

A-1.1

SITE SECTIONS

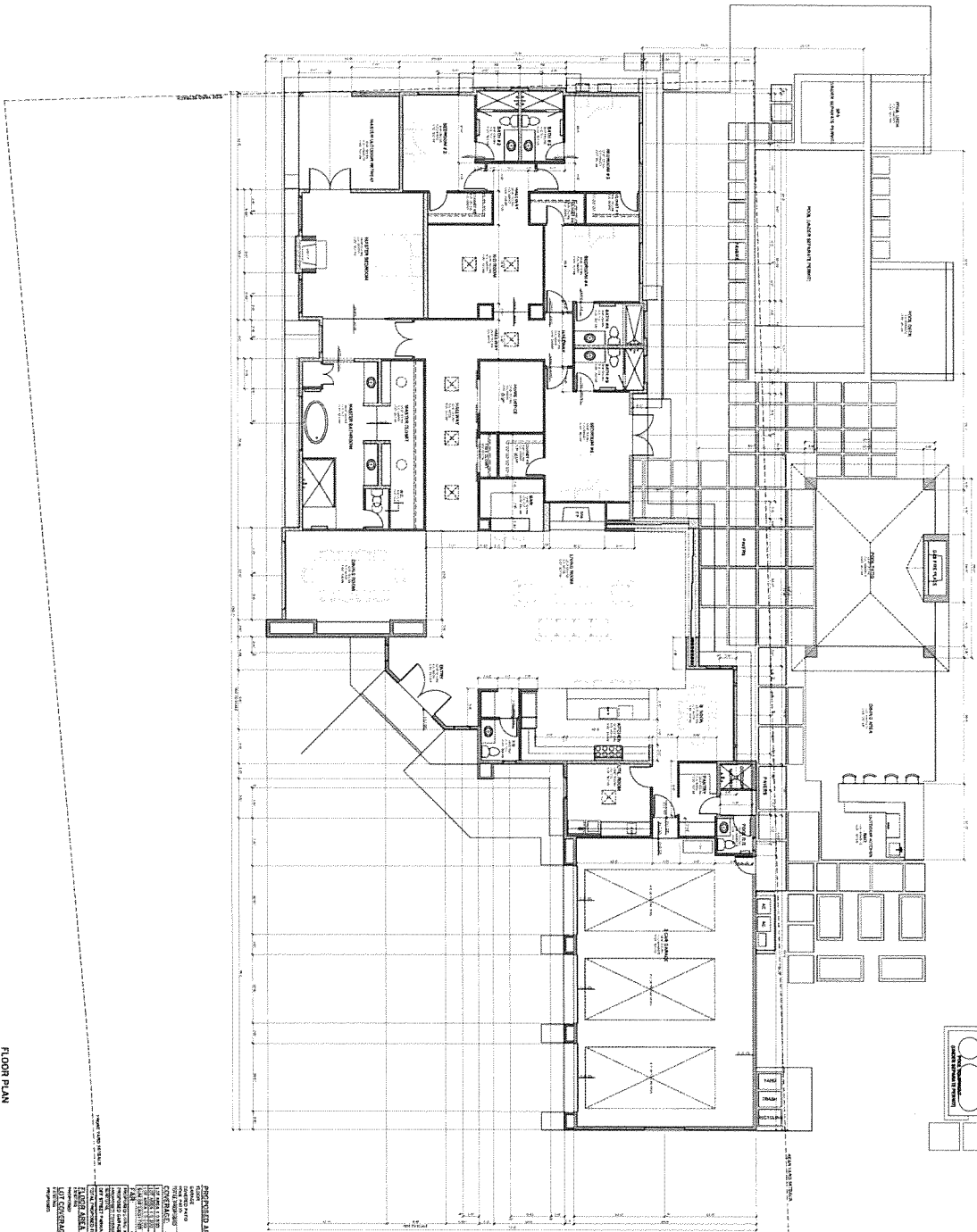
SUBMITTALS	
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B.T.F. BUILDERS LLC
4250 NORTH LANE
SOLANA BEACH CA. 92075



RICH ANDERSON
ARCHITECT
321 BARBARA AVE.
SOLANA BEACH CA. 92015
760-402-6442



FLOOR PLAN
SCALE 3/32" = 1'-0"



A-2.0

PROPOSED AREAS	
EXISTING	1,348 SQ FT
DEMOLITION	0 SQ FT
NEW	0 SQ FT
TOTAL	1,348 SQ FT

REVISIONS		
NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMITS
2	11/15/11	ISSUED FOR PERMITS
3	11/15/11	ISSUED FOR PERMITS
4	11/15/11	ISSUED FOR PERMITS
5	11/15/11	ISSUED FOR PERMITS
6	11/15/11	ISSUED FOR PERMITS
7	11/15/11	ISSUED FOR PERMITS
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9	11/15/11	ISSUED FOR PERMITS
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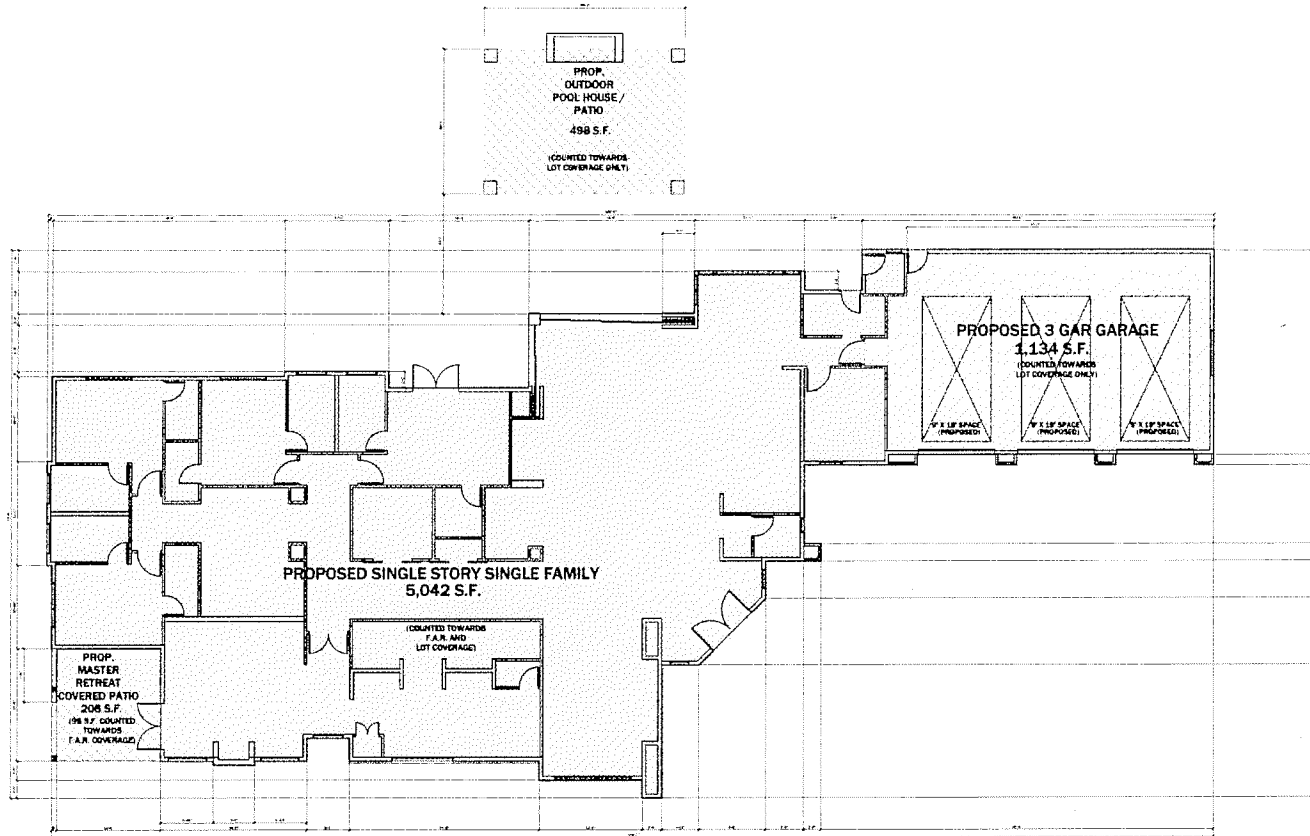
SUBMITTALS		
NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMITS
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4	11/15/11	ISSUED FOR PERMITS
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8	11/15/11	ISSUED FOR PERMITS
9	11/15/11	ISSUED FOR PERMITS
10	11/15/11	ISSUED FOR PERMITS

DIMENSION FLOOR PLAN

B.T.F. BUILDERS LLC
4250 NORTH LANE
SOLANA BEACH CA. 92075



RICH ANDERSON
ARCHITECT
321 BARBARA AVE.
SOLANA BEACH CA. 92075
760-422-0442



B.T.F. BUILDERS LLC
 1450 WESTLAKE
 SOFANA BEACH CA 92075

SUBMITTALS

1	PRELIMINARY
2	PERMITS
3	CONTRACT
4	FINAL

REVISIONS

1	DATE	DESCRIPTION

PROPOSED AREAS

FLOOR	1,842 SQ. FT.
LANDSCAPE	1,134 SQ. FT.
POOL	498 SQ. FT.
RETREAT	206 SQ. FT.
WALL	1,362 SQ. FT.
TOTAL PROPOSED	5,042 SQ. FT.

COVERAGE

PROPOSED LOT AREA	11,000 SQ. FT.
PROPOSED GARAGE AREA	1,134 SQ. FT.
PROPOSED COVERED PATIO AREA	206 SQ. FT.
PROPOSED F.A.R. AREA	14,340 SQ. FT.
TOTAL PROPOSED	12,580 SQ. FT.

FLOOR AREA RATIO

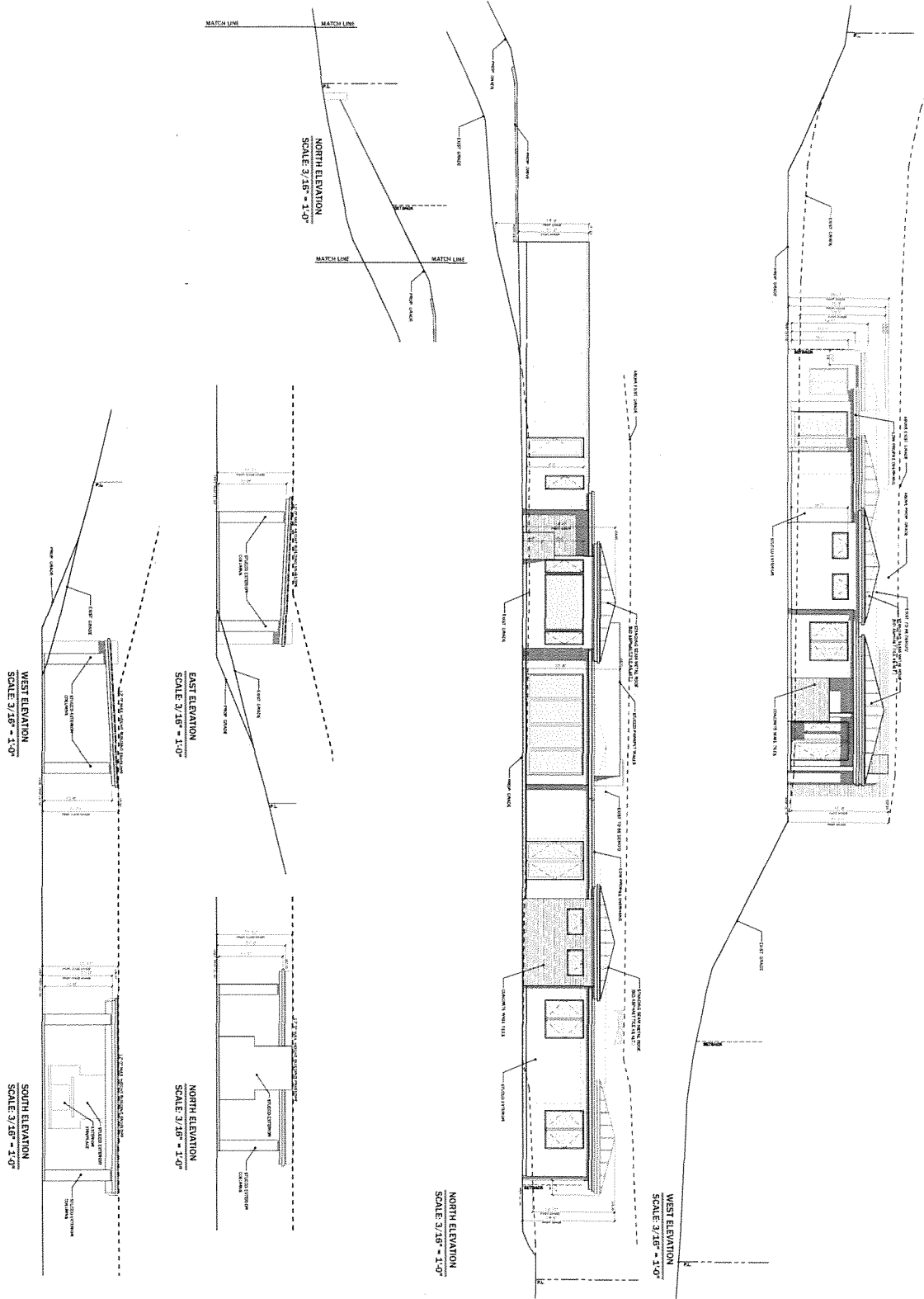
PROPOSED LOT AREA	11,000 SQ. FT.
PROPOSED GARAGE AREA	1,134 SQ. FT.
PROPOSED COVERED PATIO AREA	206 SQ. FT.
PROPOSED F.A.R. AREA	14,340 SQ. FT.
TOTAL PROPOSED	16,680 SQ. FT.

LOT COVERAGE

PROPOSED	1,842 SQ. FT. (16.7%)
PERMITTED	8,000 SQ. FT. (72.8%)
TOTAL	9,842 SQ. FT. (89.5%)

FLOOR AREA DIAGRAM PLAN
 SCALE 3/16" = 1'-0"





A-4.1

ELEVATIONS

NO.	REVISIONS
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B.T.F. BUILDERS LLC
 4250 NORTH LANE
 SOLANA BEACH CA. 92075



RICH ANDERSON
 ARCHITECT
 321 BARBARA AVE.
 SOLANA BEACH CA 92075
 760-402-0442

HYDROZONE LEGEND

ZONE	SYMBOL	AREA DESCRIPTION	VALVES	IRRIGATION	SQ. FT.	REMARKS
		NON-IRRIGATED AREA	N/A	N/A	13,625	
		HARDSCAPE	N/A	N/A	13,300	
		ARTIFICIAL TURF	N/A	N/A	1,400	
1		ENGINEERED SLOPES	3	SPRAY	7,735	SHRUB AND GROUND COVER MASSINGS
2		EXISTING STEEP SLOPES	2	SPRAY	3,950	HYDROSEED
3		RETENTION BASIN	2	SPRAY	2,580	GRASSES AND GROUND COVER
4		ORNAMENTAL LANDSCAPE AREA	4	BUBBLER/ SPRAY	7,600	ORNAMENTAL SHRUBS AND GROUND COVER
5		POOL	N/A	N/A	605	SURFACE SQUARE FOOTAGE
6		MOD/MED WATER-USE TREES	2	BUBBLER	700	FERN PINE, PALM TREES. (28 s.f./tree, 25 trees total)
7		LOW WATER-USE TREES	1	BUBBLER	224	EXISTING PEPPER, PALM TREES (28 s.f./tree, 8 trees total)
SLA		TREE ORCHARD	1	BUBBLER	308	CITRUS TREES (28 s.f./tree, 11 trees total)

TOTAL SQUARE FOOTAGE: 52,415 s.f.
NET LOT SIZE = 52,416 s.f.
TOTAL LANDSCAPE AREA = 23,041 s.f.
PERCENTAGE OF LANDSCAPE TO NET LOT SIZE: 43.96%

REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

97017

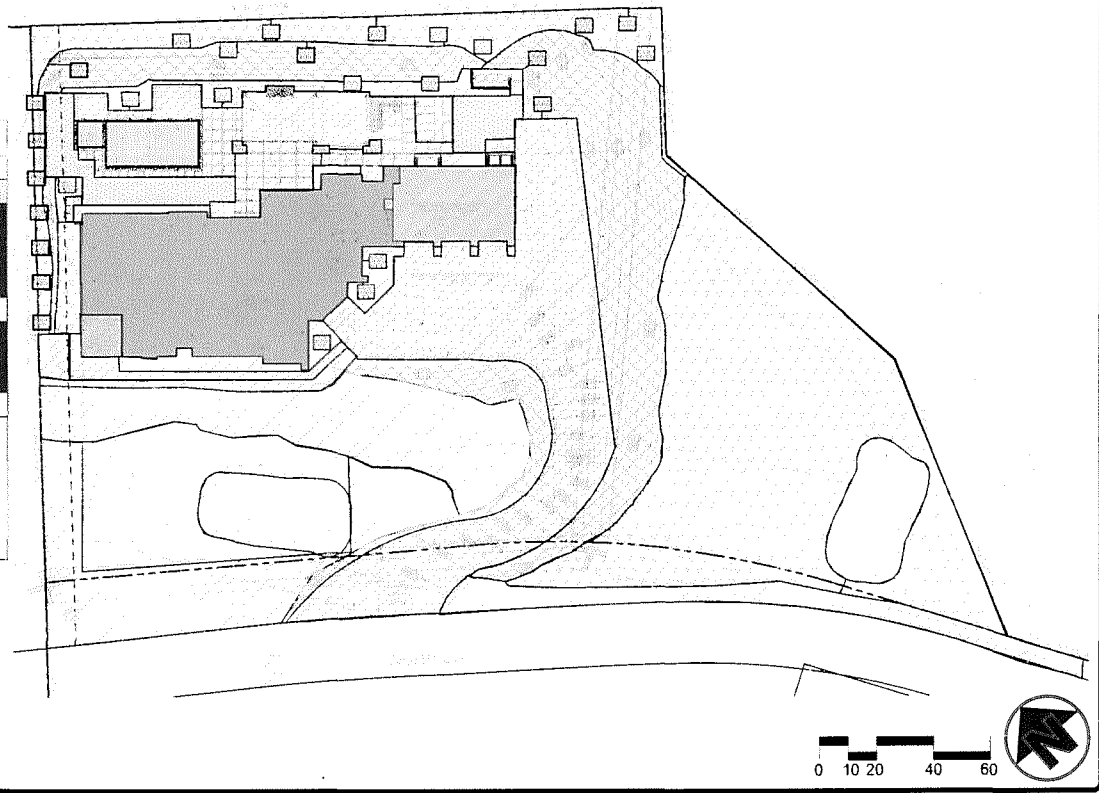
CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

Line	Hydro-zone Number (1 - 4 Below - use as many boxes many taken as necessary to complete all hydrozones)								SLA	
	1	2	3	4	5	6	7	8		
Evapotranspiration Rate (ET _a) See "A" below	47									
Conversion Factor - 0.62	0.62									
(Line 1 x Line 2)	29.14									
Plant Factor (PF) See "B" below	4	3	3	3	3	1.0	6	3		
Hydrozone Area (HA) - in square feet (Line 4 x Line 5)	5	7735	3950	2580	7800	605	700	224	308	
Irrigation Efficiency (IE) See "C" below	6	2321	1186	774	2280	605	420	87		
(Line 5 x Line 6)	7	55	55	75	70	55	75	75		
(Line 6 x Line 7)	8	4219	2155	1105	3257	1100	560	90		
TOTAL of all Line 8 boxes x SLA	9	12,486								
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10	383,842								

A	B	C
ET _a - Evapotranspiration rate 47 (east of 1-5) 47 (east of 1-5)	PF - Plant Factor - The WT-COLES values are assumed the correct for each species used. The MAWA values are PF values for each plant species used. PF is shown in a hydrozone. 1 - 100% Full Sun 1 - 100% Full Sun 1 - 100% Full Sun 1 - 100% Full Sun 1 - 100% Full Sun 1 - 100% Full Sun	IE - Irrigation Efficiency Series = 15 Range = 10 Bubbles = 12 MP = 10 MP = 10 MP = 10 MP = 10 MP = 10 MP = 10

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:
Evapotranspiration adjustment factor (ETAF) use 13 residential

$$\frac{29.14}{25.42 \text{ or } 30.11} \left(\frac{23,702}{\text{Total Landscape Area}} \right) + (1 - \text{ETAF}) \times \frac{308}{\text{Total SLA}} = \text{MAWA } 383,911$$



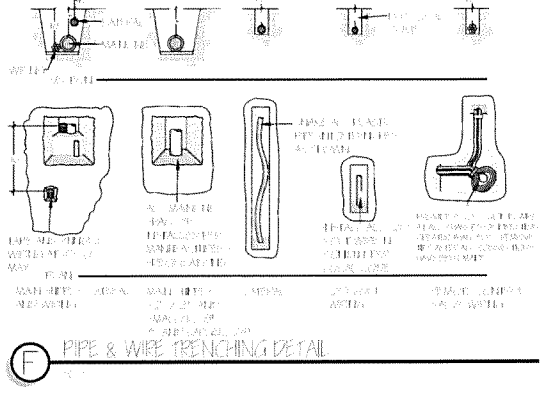
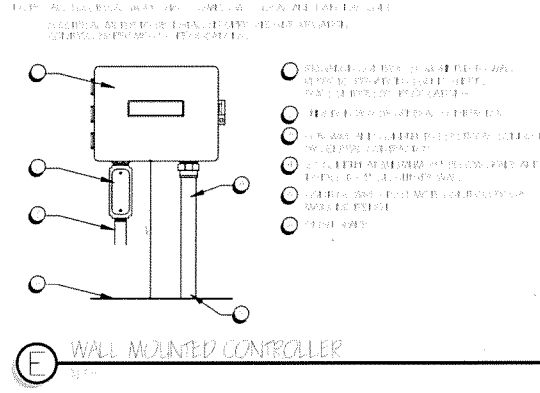
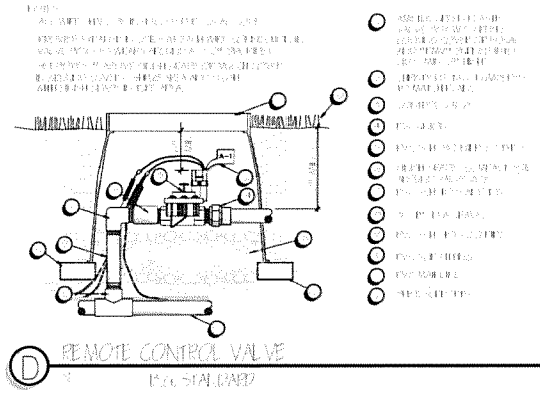
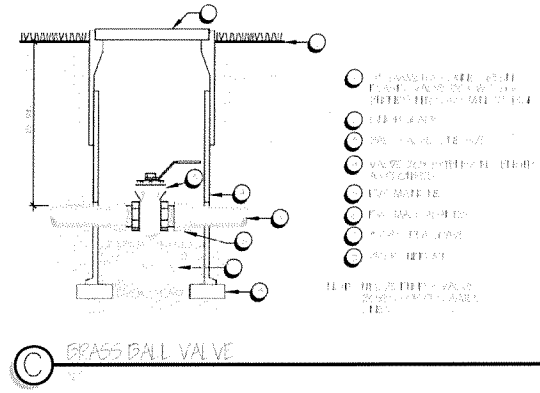
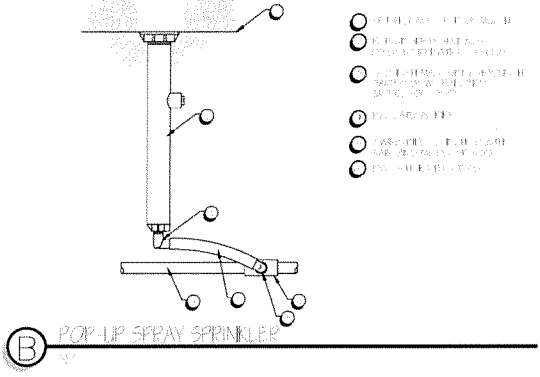
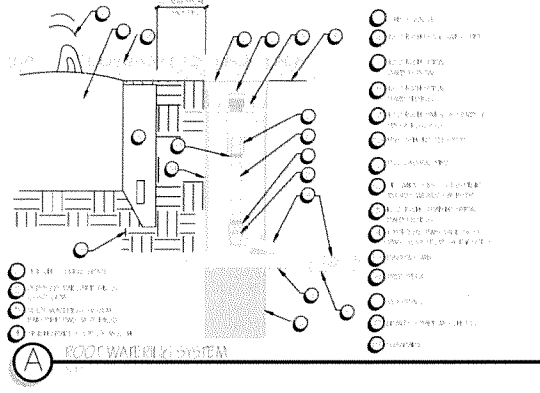
NO.	DATE	DESCRIPTION

CS Design Group, Inc.
Urban Design/Landscape Architecture/Site Planning
6955 El Camino Road, Suite 100-482
San Diego, California 92109-3037
1 (760) 441-8888
info@csdesigngroup.com
csdesigngroup.com

B.T.F. BUILDERS, LLC
4250 NORTH LANE
SOLANA BEACH, CA 92075

WATER CONSERVATION PLAN

DRAWN: OC
CHECKED:
DATE: 8/08/19
SCALE: 1"=20'-0"
CRJ NO: 18019
SHEET
L-2
OF 7 SHEETS



REVISIONS	DATE
CITY COMMENTS	02/21/19

CS Design Group, Inc.
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 San Diego, California 92109
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 info@csdesigngroup.com
 csdesigngroup.com

B.T.F. BUILDERS, LLC
 4250 NORTH LANE
 SOLANA BEACH, CA 92075

DRAWN	GC
CHECKED	
DATE	6/08/19
SCALE	N.T.S.
JOB NO	16019
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OF	7 SHEETS



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for DRP and SDP to Construct a Replacement Single-Family Residence with an Attached Two-Car Garage and a Second-Floor Attached Accessory Dwelling Unit (ADU) and Perform Associated Site Improvements at 336 South Nardo Avenue (Case # 17-19-07 Applicant: Evan and Afsaneh Cooper; APN: 298-084-41; Resolution No. 2019-125)**

BACKGROUND:

The Applicants, Evan and Afsaneh Cooper, are requesting City Council approval of a Development Review Permit (DRP) and a Structure Development Permit (SDP) to demolish a single-family residence and construct a replacement single-family residence with an attached two-car garage and a second floor attached Accessory Dwelling Unit (ADU), and perform associated site improvements at 336 South Nardo Avenue. The subject lot is 28,709 square feet and located in the Low Residential (LR) Zone, Hillside Overlay Zone (HOZ), and Scaled Residential Overlay Zone (SROZ). The proposed project includes the following grading quantities: 102 yd³ of cut, 88 yd³ of fill, 35 yd³ of export, 14 yd³ for the footings, and 122 yd³ for removal and re-compaction. The maximum building height would be 24.28 feet above the proposed grade or 211.28 feet above Mean Sea Level (MSL).

It should be noted that the project has been revised since the installation and certification of story poles, however the Applicants have requested waiver of the requirement to revise the story poles and go through an additional 30-day SDP notice and review period. The proposed change and waiver, which has received written support from the eight (8) adjacent property owners, is explained further in the SDP Compliance Section of this report.

The project requires a DRP for an aggregate grading quantity in excess of 100 cubic yards and the construction of a structure that exceeds 60% of the maximum allowable floor area. The project requires a SDP because the proposed development exceeds 16

CITY COUNCIL ACTION:

feet in height above the existing grade. The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request as contained in Resolution 2019-125 (Attachment 1).

DISCUSSION:

The lot is flag shaped with an approximately 165-foot long driveway that provides vehicular access from South Nardo Avenue to four properties. The remainder of the lot is rectangular shaped and approximately 127 feet wide and 186 feet long. The property is currently developed with a 1,868 square-foot single-family residence and a detached garage.

The property is within the HOZ. The topography slopes downward from Nardo Avenue diagonally to the northeast corner of the lot. The driveway and the first 90 feet of the rectangular area of the lot are relatively flat, with a significant drop in topography of approximately 45 feet as you move toward the northeast corner. The Applicants provided a slope analysis, which shows where slopes are less than 25%, where they exceed 25%, and where the slopes exceed 40%. Pursuant to the provisions of the HOZ, development shall not be permitted on slopes greater than 25%.

The Applicants propose to demolish the existing structures on site. The proposal includes construction of a 4,435 square-foot, single-family residence with an attached two-car garage and a second story ADU. The project would also include associated site improvements including, grading, fencing, hardscape, landscape, and construction of a spa, outdoor barbeque counter and a fire pit in the relatively flat yard area east of the existing and proposed residence. The project plans are provided in Attachment 2. The Site Plan is provided below in Exhibit 1 and depicts the proposed improvements as well as the existing steep slope in the rear (east) end of the property.

Exhibit 1: Proposed Site Plan

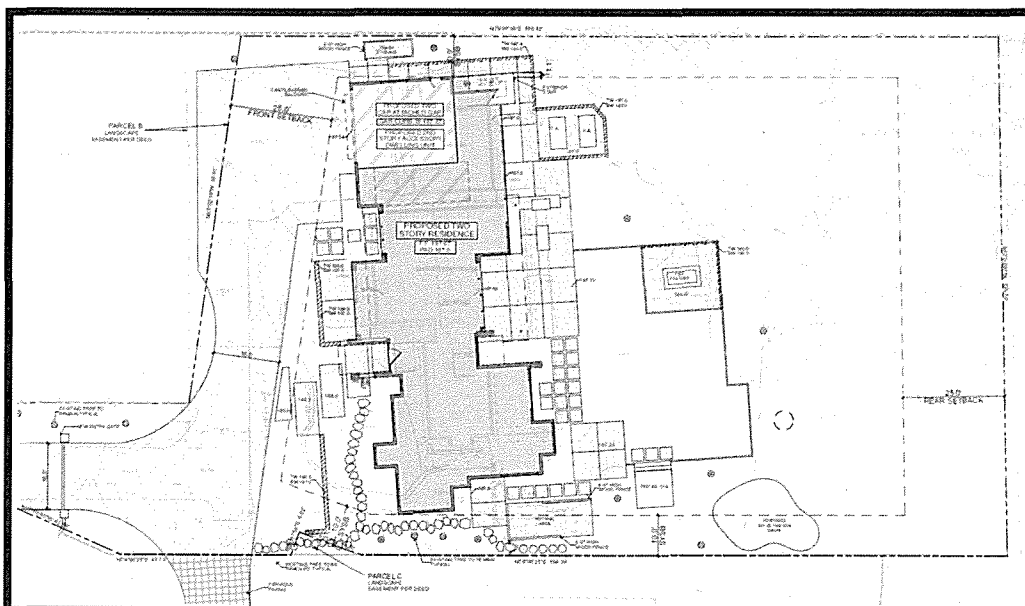


Table 1: (on the next page) provides a comparison of the SBMC applicable zoning regulations with the Applicants' proposed design.

Table 1			
LOT INFORMATION			
Property Address:	336 S. Nardo Ave.	Zoning Designation:	LR (3 du/ac)
Lot Size (Net):	28,089 ft ²	Units Allowed:	1 Dwelling Unit, 1 ADU
Max. Allowable Floor area:	5,510 ft ²	Units Proposed:	1 Dwelling Unit, 1 ADU
Proposed Floor area:	4,035 ft ²	Setbacks:	Required Proposed
Below Max. Floor area by:	1,475 ft ²	Front (W)	25 ft. 25.5 ft.
Max. Allowable Height:	25 ft.	Interior Side (N)	10 ft. 10 ft.
Max. Proposed Height:	24.28 ft.	Interior Side (S)	10 ft. 10 ft.
Highest Point/Ridge:	211.28 MSL	Rear (E)	25 ft. 110 ft.
PROPOSED PROJECT INFORMATION			
Floor area Breakdown:		Required Permits:	
Main Floor Garage/Storage	564 ft ²	DRP: A DRP is required for: 1) grading in excess of 100 cubic yards (aggregate) and 2) a structure that exceeds 60% of the maximum allowable floor area. SDP: A SDP is required for a new structure that exceeds 16 feet in height from the existing grade.	
Main Floor Living Area	2,860 ft ²		
Covered Patio:	267 ft ²		
Second Floor ADU	744 ft ²		
Subtotal	4,435 ft ²		
Off-Street Parking Exemption	- 400 ft ²		
Total Floor area:	4,035 ft²		
Proposed Grading:	Cut: 103 yd ³ Fill: 68 yd ³	Excavation for Footings: 14 yd ³	
	Removal and Recompaction: 122 yd ³ Export: 35 yd ³		
Proposed Parking: Basement 2-Car Garage		Existing Development:	
Proposed Fences and Walls: Yes		Single-Family Residence with a detached garage and carport.	
Proposed Accessory Dwelling Unit: Yes			
Proposed Accessory Structure: No			

Staff has prepared draft findings for approval of the project in the attached Resolution 2019-125 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP and SDP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2019-125.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required for the following reasons: 1) grading in excess of 100 cubic yards (aggregate); and 2) a structure that exceeds 60% of the maximum allowable floor area.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2019-125 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the LR Zone. Properties immediately surrounding the lot to the north, south, and west are also located within the LR Zone and are developed with one and two-story, single-family residences. Properties located down the slope and immediately east of the subject property are located in the Light Industrial (LI) Zone and are developed with commercial storage facilities.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Low Density Residential in the General Plan and intended for single-family residences

developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ, the HOZ and within the Coastal Zone. The project has been evaluated and could be found to be in conformance with the regulations of the SROZ and the HOZ, which are discussed further later in this report. As a condition of project approval, the Applicants would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building and Grading Permits.

Building and Structure Placement:

The Applicants are proposing to construct a single-level principal residence of 2,860 square feet. The residence would consist of an entry, great room, powder room, kitchen, pantry, laundry room, gym with a separate gym bathroom, two additional bedrooms with a shared "Jack and Jill" bathroom, and a master suite. An additional 267 square feet of covered patio area is included in the calculation of floor area because it is covered and surrounded on three sides by full sized walls. This area is made up of exterior square footage at the front entry and two patios, one off the kitchen to the west or front yard and the other off of the great room to the rear yard or the east. Attached to the northwest corner of a residence would be a 564 square-foot garage and storage area.

Above the garage, on the second floor, an attached accessory dwelling unit is proposed that would consist of a great room, kitchen, bedroom and bathroom with a second floor deck oriented toward the rear or east of the property.

A single-family residence requires two off-street parking spaces that are 9 feet by 19 feet in area and clear of obstruction. An additional off-street parking space is not required for the ADU because the property is located within ½ mile of a transit stop. The SBMC indicates that up to 200 square feet per required parking space that is provided within a garage can be exempt from the calculation of floor area. The Applicants are proposing a 564 square foot, two-car garage, therefore, 400 square feet can be exempt from the calculation of floor area.

The maximum allowable floor area for the 28,709 square-foot lot, pursuant to the SROZ regulations, is as follows:

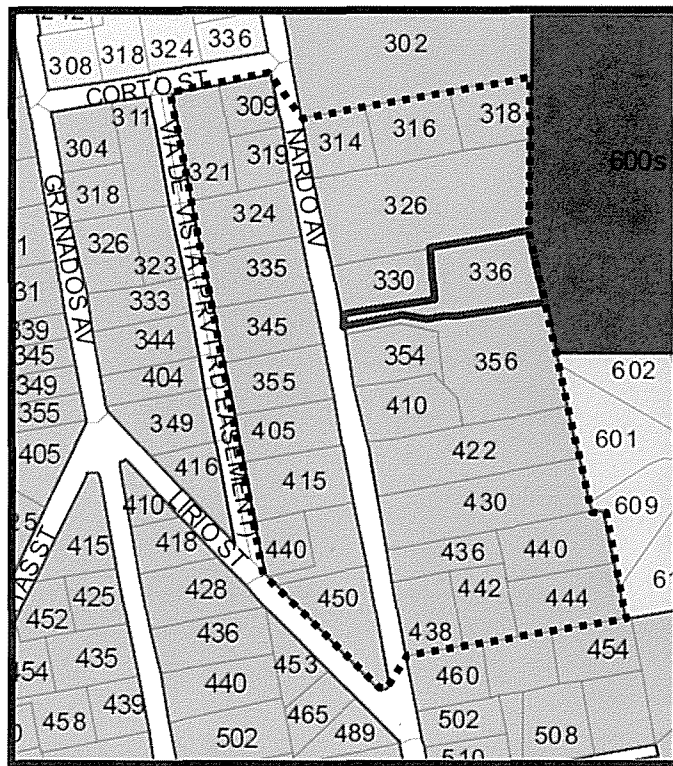
0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,001 to 15,000 ft ²	1,575 ft ²
0.10 for 15,001-20,000 ft ²	500 ft ²
0.05 for above 20,001	435 ft ²
<hr/> Total Allowable Floor area:	<hr/> 5,510 ft ²

The proposed floor area of the residence, covered patios, ADU and the remainder of the garage/storage area is 4,035 square feet, which is 1,475 square feet below the maximum allowable.

The proposed project, as designed, meets the minimum required setbacks and is below the maximum allowable floor area for the property.

Neighborhood Comparison:

Staff compared the proposed project to 27 other properties within the surrounding area. This area includes properties along South Nardo Avenue, Lirio Street, Corto Street, and Via de Vista as shown on the following map:



The properties evaluated in this comparison are located in the LR Zone. The existing homes range in size from 924 square feet to 6,201 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garages, the covered porch, and ceiling height over 15 feet as follows:

Project Gross Building Area:	4,308 ft ²
Delete Garage and Storage Area:	- 564 ft ²
Delete Residence Covered Patio:	- 340 ft ²
<hr/> Project Area for Comparison to Assessor's Data:	<hr/> 3,404 ft ²

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (SanGis)	Existing ft ² (Assessor)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	309 S Nardo Ave	9,600	3,695		3,630	LR
2	319 S Nardo Ave	9,800	3,249		3,665	LR
3	440 Lirio St	10,400	1,423		3,770	LR
4	436 S Nardo Ave	12,524	924		4,142	LR
5	314 S Nardo Ave	13,000	3,483		4,225	LR
6	442 S Nardo Ave	14,000	3,774		4,400	LR
7	438 S Nardo Ave	14,000	3,031		4,400	LR
8	328 S Nardo Ave	14,000	5,208		4,400	LR
9	330 S Nardo Ave	15,500	3,826		4,660	LR
10	360 S Nardo Ave	16,000	3,541		4,745	LR
11	316 S Nardo Ave	17,300	4,092		4,966	LR
12	410 S Nardo Ave	17,500	3,768		5,000	LR
13	434 Via de Vista	18,500	4,277		5,170	LR
14	440 S Nardo Ave	20,000	2,457		5,075	LR
15	444 S Nardo Ave	20,000	2,379		5,075	LR
16	324 Via de Vista	20,500	3,231		5,163	LR
17	336 Via de Vista	20,500	2,000		5,163	LR
18	345 S Nardo Ave	20,500	2,335		5,163	LR
19	355 S Nardo Ave	20,500	3,830		5,163	LR
20	321 Corto St	21,500	3,592		5,338	LR
21	436 Via de Vista	22,651	2,107		5,539	LR
22	336 S Nardo Ave	28,709	1,868	3,404	6,599	LR
23	326 S Nardo Ave	29,185	4,976		6,682	LR
24	318 S Nardo Ave	32,000	4,342		7,175	LR
25	450 Lirio St	35,200	2,635		7,735	LR
26	422 S Nardo Ave	37,026	5,736		8,055	LR
27	430 S Nardo Ave	37,462	6,201		8,131	LR
28	356 S Nardo Ave	42,689	4,116		9,046	LR

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air. However, the SBMC also permits fences or walls to be 5 feet high in the front-yard setback to comply with pool fencing requirements.

Various low retaining walls (less than three feet measured from proposed finished grade) are proposed to support the on-grade patios on the east side of the residence (west of the steep slope in the eastern yard) and the walkway along the northern side

yard. Additional low site walls, ranging from approximately 2 to 3 feet in height measured from existing and proposed grade, are proposed in the front yard on either side of the entry walkway between the proposed residence and the driveway. Existing perimeter fencing would remain.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to be in compliance with the Municipal Code.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The property is accessed by a shared driveway easement. The Applicants would extend the existing driveway to the north to access the proposed two-car garage and to the south within the easement on the neighboring property in order to provide adequate area for a fire apparatus hammerhead turnaround due to the length of the private driveway. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide two parking spaces. Two spaces are required for the project, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

Grading:

The proposed project includes the following grading quantities: 102 yd³ of cut, 88 yd³ of fill, 35 yd³ of export, 14 yd³ for the footings, and 122 yd³ for removal and re-compaction. The majority of proposed grading would result in a level building pad and patio area east of the residence. Grading is also proposed to provide for one bio-retention (stormwater detention) area in the east end of the southern side yard.

Lighting:

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of a replacement single-family residence with an attached two-car garage and a second level attached ADU; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Development Impact Fee.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicants were required to complete the SDP process. The Applicants had story poles erected onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on June 6, 2019, which showed a maximum building height of 24.28 feet above the proposed grade and the highest story pole (SP #29) certified at 211.28 feet above the Mean Sea Level (MSL).

Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on August 7, 2019. No applications for View Assessment were received; however, the Applicants subsequently opted to modify the project by expanding the floor plan and roof plan of the first floor. The proposed changes are delineated in Attachment 3 and would not exceed the proposed maximum building height of 24.28 feet. The Applicants obtained written consent from the eight (8) adjacent property owners to waive the requirement for installation and certification of updated story poles reflecting the change in the roofline on the west side of the structure as well as a waiver of the requirement to re-notice the SDP. Pursuant to SBMC Section 17.63.040(A), the Community Development Director has recommended approval of the requested waiver, as with the neighboring property owners' consent, there is no likelihood for view impairment with the proposed first-floor changes. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum height of 24.28 feet above the proposed grade with the highest pole at 211.28 feet above MSL, which is the maximum proposed structure height reflected on the project plans.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on September 13, 2019. As of the date of preparation of this Staff Report, Staff has not received any official correspondence in opposition or support of the project.

Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the updated Resolution of Approval (Attachment 1).

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Should the Council determine that the findings can be made to approve the project, the SDP will be approved concurrently with the DRP.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2019-125.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a SDP and DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the continued Public Hearing: Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.

2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2019-125 conditionally approving a DRP and SDP to demolish a single-family residence, construct a replacement single-family residence with an attached two-car garage and a second level attached ADU, and perform associated site improvements at 336 South Nardo Avenue, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2019-125
2. Project Plans
3. Proposed Project Changes

SOLUTION 2019-125

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND AN ADMINISTRATIVE STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH A SINGLE-FAMILY RESIDENCE, CONSTRUCT A REPLACEMENT SINGLE-FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE AND A SECOND-FLOOR ATTACHED ACCESSORY DWELLING UNIT (ADU), AND PERFORM ASSOCIATED SITE IMPROVEMENTS AT 336 SOUTH NARDO AVENUE, SOLANA BEACH.

**APPLICANT: EVAN AND AFSANEH COOPER
CASE NO.: 17-19-07 DRP/SDP**

WHEREAS, Evan and Afsaneh Cooper (hereinafter referred to as the “Applicants”), have submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the public hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the public hearing on September 25, 2019, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and an administrative SDP to construct a new two-story, 3,127 square foot single-family residence (including exterior living area included in the calculation of floor area) with an attached 564 square foot two-car garage and an attached 744 square-foot second-story ADU, and to perform associated site improvements at 336 South Nardo Avenue, is conditionally approved based upon the following Findings and subject to the following Conditions:

ATTACHMENT 1

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Residential (LR) which allows for single-family residential development with a maximum density of 3 dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the LR Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks), maximum allowable Floor Area, maximum building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the LR Zone. Properties to the north, south and east are also located within the LR Zone and developed with a mixture of one- and two-story single-family residences. Properties immediately to the east are located in the

Light Industrial (LI) Zone and are developed with commercial storage, manufacturing, and warehouse facilities.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan or Overlay Zone areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ), the Hillside Overlay Zone (HOZ) and the Coastal Zone. The project has been evaluated, and found to be in conformance with, the regulations of the SROZ and the HOZ. As a condition of project approval, the Applicants would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building and Grading Permits.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicant proposes to construct a single-level principal residence of 2,860 square feet. The residence would consist of an entry, great room, powder room, kitchen, pantry, laundry room, gym with a separate gym bathroom, two additional bedrooms with a Jack and Jill bathroom, and a master suite. An additional 267 square feet of covered patio area is included in the calculation of floor area because it is covered and surrounded on three sides by full sized walls. This area is made up of exterior square footage at the front entry and two patios, one off the kitchen to the west or front yard and the other off of the great room to the rear yard or the east. Attached to the northwest corner of a residence would be a 564 square-foot garage and storage area. Above the garage, on the second floor, an attached accessory dwelling unit is proposed that would consist of a great room, kitchen, bedroom and bathroom with a second floor deck oriented toward the rear of the property or the east.

The SBMC parking regulations require two off-street parking spaces per single-family residence. An additional off-street parking space is not required for the ADU because the property is located within ½ mile of a transit stop. The project includes two parking spaces in the proposed garage. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The site is required to provide two parking spaces, therefore, the project is afforded a 400 square-foot exemption, and the total proposed floor area would be 4,035 square feet, which is 1,475 square feet below the maximum allowable floor area for the 28,709 square-foot lot.

The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,001-20,000 ft ²	1,338 ft ²
<hr/>	
Total Allowable Floor Area:	4,338 ft ²

The proposed project, as designed, meets the minimum required setbacks and is below the maximum allowable floor area for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-

conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants are proposing to construct an attached, two-car garage. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide two 9 foot by 19 foot parking spaces that are clear of obstruction. Two spaces are required, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project proposes grading in the amounts of 1,280 cubic yards of cut, 40 cubic yards of fill, 30 cubic yards of excavation for footings, and 250 cubic yards of removal and recompaction. The majority of proposed grading would result in a level building pad and patio area east of the residence. Grading is also proposed to provide for one bio-retention (stormwater detention) area in the east end of the southern side yard.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a replacement single-family residence with an attached garage and second-story ADU on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Development Impact Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicants are required to obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:**

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicants were required to complete the SDP process. The Applicants had story poles erected onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on June 6, 2019, which showed a maximum building height of 24.28 feet above finished grade and the highest story pole (SP #29) certified at 211.28 MSL. Notices to apply for View Assessment were mailed to property owners

and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on August 7, 2019.

No applications for View Assessment were received by the City; however, the Applicants subsequently opted to modify the project by expanding the floor plan and roof plan of the first floor. The Applicants obtained written consent from the eight (8) adjacent property owners to waive the requirement for installation and certification of updated story poles reflecting the change in the roofline on the west side of the structure as well as a waiver of the requirement to re-notice the SDP. Pursuant to SBMC Section 17.63.040(A), the Community Development Director has recommended approval of the requested waiver, as with the neighboring property owners' consent, there is no likelihood for view impairment with the proposed first-floor changes; therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 24.28 feet above the existing grade or 211.28 feet above MSL, which is the maximum proposed structure height reflected on the project plans.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicants shall pay required Public Facilities, Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by SBMC Chapter 17.72.020, Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolutions 1987-36 and 2018-147.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on September 25, 2019, and located in the project file with a submittal date of September 18, 2019.
- III. Prior to requesting a framing inspection, the Applicants shall submit a height certification, signed by a licensed land surveyor, certifying that the building envelope (which is represented by the story poles) is in conformance with the plans as approved by the City Council on September 25, 2019 and the certified story pole plot plan, and will not exceed 24.28 feet in height from the existing finished grade or 211.28 feet above MSL.

- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- VI. The Applicants shall submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect and shall be in substantial conformance with the conceptual plan presented to the City Council. In addition, the City's third-party landscape architect will perform a final inspection to verify substantial conformance onsite prior to completion of construction.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.
- XI. The ADU shall not be sold separate from the primary residence.
- XII. The owner of the property must continually occupy either the main dwelling unit or the ADU. For the purposes of this condition, "owner" includes a lessee if the leasehold includes both the main dwelling and ADU.
- XIII. The ADU shall only be used for rentals of terms longer than thirty (30) days.

XIV. The ADU shall provide a new or separate utility connection directly between the ADU and the utility to the satisfaction of the Community Development Director. The connection may be subject to a connection fee or capacity charge that shall be proportionate to the burden of the proposed ADU, based upon either its size or the number of its plumbing fixtures, upon the water or sewer system; provided, however, that this fee or charge shall not exceed the reasonable cost of providing this service.

B. Fire Department Conditions:

- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. DEAD ENDS: All dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. A cul-de-sac shall be provided in residential areas where the access roadway serves more than four (4) structures. The minimum unobstructed paved radius width for a cul-de-sac shall be 36 feet in residential areas with no parking.
- III. GRADE: The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete, with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent).
- IV. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per Solana Beach Fire Department standards.
- V. POSTING OR STRIPING ROADWAYS "NO PARKING FIRE LANE":

Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

- VI. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- VII. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- VIII. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- IX. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

C. Engineering Department Conditions:

- I. Construct a low profile mountable 9" X 9" X 12" concrete curb along the entire frontage of the property of South Nardo Ave at the flow line of the street, and install a 10' width of stabilized, compacted, decomposed granite (D.G.) at 2% maximum from the property line down toward the curb.
- II. Obtain an Encroachment permit in accordance with Chapter 11.20 of the Solana Beach Municipal Code, prior to the demolition and construction of any improvements within the public right-of-way, including:

- a. Construction of a modified G-14 driveway.
- b. A low profile mountable concrete curb along the entire frontage of the property at the flow line of the street, show driveway apron replacement, and install a 10' width of stabilized, compacted, decomposed granite (D.G.) at 2% maximum from the property line down toward the curb.

All proposed improvements within the public right-of-way shall comply with City standards including, but not limited to, the Off-Street Parking Design Manual.

- III. An Encroachment Maintenance Removal Agreement (EMRA) shall be recorded against this property for all improvements in the Public Right-Of-Way including, but not limited to, the 10' wide D.G area compacted and graded at 2% towards the flow line, 9" X 9" X 12" concrete curb along the property frontage, and concrete driveway along South Nardo Ave.
- IV. The Applicant shall pay in full the one-time sewer capacity fees of \$545.85 for the proposed ADU. The EDU assignment is determined by SBMC 14.08.060.
- V. The collection of Traffic Impact Fee (TIF) prior to Building Permit Issuance is required of this project.
- VI. All new utility services shall be installed underground.
- VII. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- VIII. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the Solana Beach Municipal Code, which allows otherwise.
- IX. Obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
 - a. The grading plan shall be prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.

- b. A Soils Report shall be prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- c. Provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. Detention basin easement(s) will be required over the proposed basin site. All recommendations of this report shall be incorporated into the Preliminary Grading Plan.
- d. An easement shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the occupancy of this project.
- e. All retaining walls and drainage structures shall be shown. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- f. The Applicants are responsible to protect the adjacent properties during construction. If any grading or other types of construction are anticipated beyond the property lines, the Applicants shall obtain a written permission from the adjoining property owners for incidental grading or construction that may occur and submit the letter to the City Engineer prior to the anticipated work.
- g. Pay grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- h. Obtain and submit grading security in a form prescribed by the City Engineer.

- i. Obtain haul permit for import / export of soil. The Applicants shall transport all excavated material to a legal disposal site.
- j. Submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- k. An Erosion Prevention and Sediment Control Plan shall be prepared. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- l. Show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- m. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- n. No increased cross lot drainage shall be allowed

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit and Structure Development Permit for the project

will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 25th day of September, 2019, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

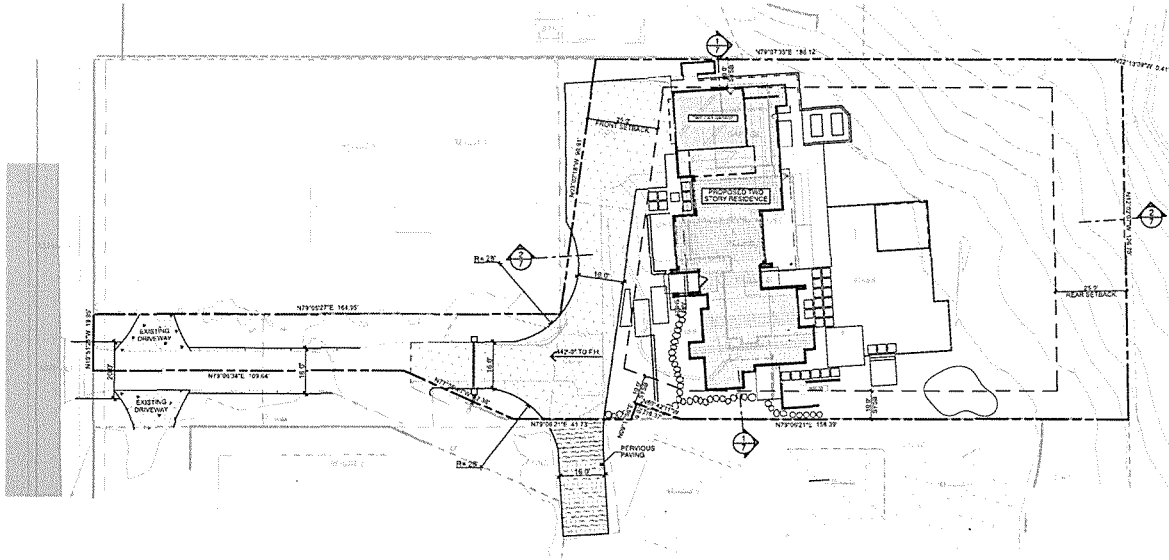
DAVID A. ZITO, MAYOR

APPROVED AS TO FORM:

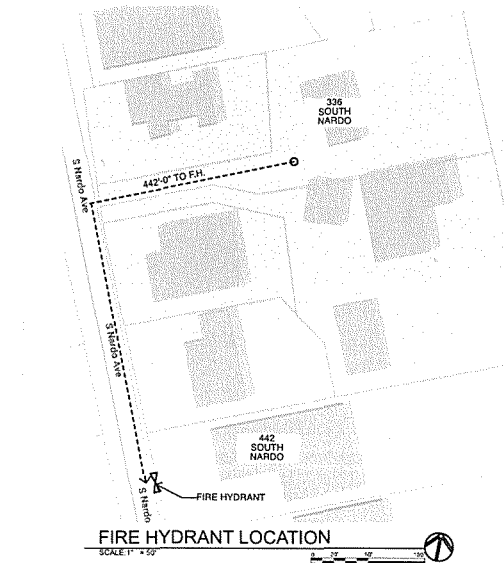
ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



Site Plan (Overall)
SCALE 1" = 20'



PROJECT INFORMATION
 APR: 298-084-41-00
 SITE ADDRESS: 336 SOUTH NARDO AVENUE, SOLANA BEACH, CA.
 LEGAL DESCRIPTION:
 PARCEL 2, TOGETHER WITH A PORTION OF PARCEL 4 OF PARCEL MAP NO. 16642,
 IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED
 SEPTEMBER 20, 1991, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ZONE:
 LRL
 SCALED RESIDENTIAL OVERLAY ZONE (SRDZ)
 HILLSIDE OVERLAY ZONE (HOZ)

FRONT SETBACK: 25'-0"
SIDE SETBACK: 10'-0"
STREET SIDE SETBACK: 10'-0"
REAR SETBACK: 25'-0"

LOT AREA	GROSS	28,709 SF
	NET	28,089 SF

AREA OF WORK

IRRIGATED LANDSCAPE	7,101 SF
WATER FEATURE	64 SF
DECORATIVE HANDSCAPE	641 SF
AGGREGATED LANDSCAPE AREA	7,806 SF

	EXISTING	PROPOSED
NON-LANDSCAPED AREA:	7,562 SF	9,885 SF
NON-IRRIGATED LANDSCAPE:	8,837 SF	8,837 SF
IRRIGATED LANDSCAPE	12,310 SF	7,101 SF
WATER FEATURES	0 SF	64 SF
DECORATIVE HANDSCAPE	0 SF	2,181 SF
TOTAL LOT AREA:	28,709 SF	28,709 SF

MAX BUILDING HEIGHT: 25'-0"
PROPOSED BUILDING HEIGHT: 24'-10" (24.83')

LOT AREA	GROSS	28,709 SF
	NET	28,709 SF

FLOOR TO AREA RATIO ALLOWABLE:

0.500 x 6,000 =	3,000 s.f.
0.75 x 9,000 =	1,975 s.f.
0.100 x 5,000 =	500 s.f.
0.050 x 8,709 =	435 s.f.
	5,310 s.f. maximum allowed

PROPOSED BUILDING AREA:

EXISTING RESIDENCE, (TO BE REMOVED)	
LIVING AREA:	1,868 SF
GARAGE:	N/A

PRINCIPLE RESIDENCE	2,860 SF
PRINCIPLE RESIDENCE GARAGE+STOR:	564 SF
PRINCIPLE RESIDENCE COVERED PATIO:	267 SF
PRINCIPLE RESIDENCE TOTAL:	3,691 SF
ACCESSORY LIVING UNIT:	744 SF
SUBTOTAL:	4,435 SF

PARKING EXEMPT:	400 SF
TOTAL FLOOR AREA:	4,035 SF

GRAVING:

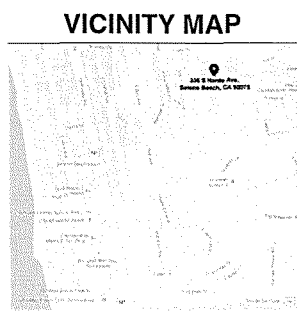
SITE GRADING:	CUT= 103 CY; FILL=68 CY; 35 CY EXPORT
EXCAVATION FOR THE FOOTINGS:	14 CY
REMOVAL AND RE-COMPACTION:	122 CY
TOTAL GRADING:	171 CY

TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLERS: YES

OWNER:
 EVAN AND AFSANEH COOPER
 336 SOUTH NARDO AVE.
 SOLANA BEACH, CA. 92075
 858-342-1760

OWNER'S REPRESENTATIVE:
 CRAIG FRIEHAUF
 FRIEHAUF ARCHITECTS INC.
 341 SOUTH CEDROS AVE., SUITE F
 SOLANA BEACH, CA. 92075
 --- --- ---

- FIRE DEPARTMENT NOTES**
- OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:**
 All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
 - ADDRESS NUMBERS; STREET NUMBERS:**
 Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a 1/2" stroke for residential buildings; 8" high with a 1/2" stroke for commercial and multi-residential buildings; 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access courts, building corners, and entrances to commercial structures.
 - AUTOMATIC FIRE SPRINKLER SYSTEM; ONE AND TWO FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to construction.
 - SMOKE DETECTOR/CARBON MONOXIDE ALARMS/FIRE SPRINKLER SYSTEM:** Smoke detectors / carbon monoxide alarms / fire sprinklers shall be required by the Solana Beach Fire Department.
 - CLASS "A" ROOF:** All Structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.
 - GATES:** All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department.
 - DEAD ENDS:** All dead-end fire access roads in excess of 100 feet in length shall be provided with an approved area of turning around fire apparatus.
 - TREES SHALL NOT OBSTRUCT FIRE ACCESS ROAD AND TRIANGULAR:**



Cooper Residence
 336 South Nardo
 Solana Beach, CA 92075



FRIEHAUF ARCHITECTS
 341 South Cedros Avenue, Suite F
 Solana Beach, California, 92075
 858-792-0116 (Tel)
 858-792-2422 (Fax)

DATE:
 FEB 19, 2019
 APRIL 22, 2019
 MAY 28, 2019
 AUG 13 2019

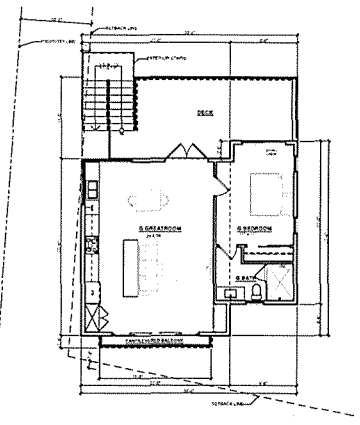
SHEET NO.
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DATE:

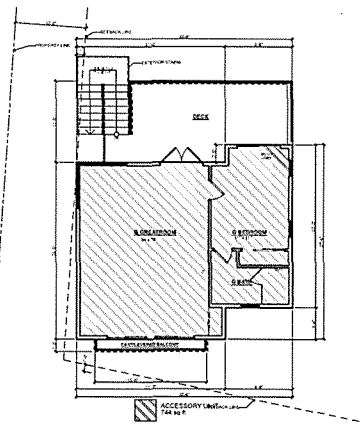
FEB 19, 2019
APRIL 22, 2019
MAY 28, 2019
AUG 13, 2019

SHEET NO.

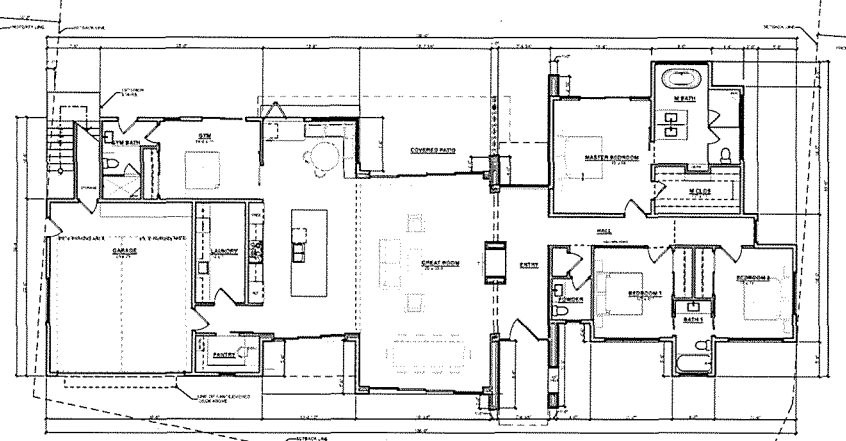
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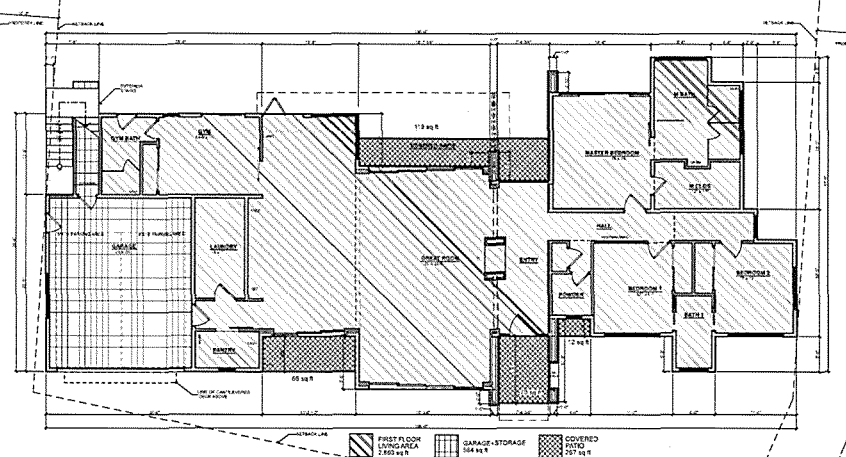
ACCESSORY DWELLING UNIT PLAN
SCALE: 1/8" = 1'-0"



ACCESSORY DWELLING UNIT AREA
SCALE: 1/8" = 1'-0"



MAIN RESIDENCE FLOOR PLAN
SCALE: 1/8" = 1'-0"



MAIN RESIDENCE AREA
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION
 APN: 298-084-41-00
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 IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED
 SEPTEMBER 20, 1997, IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY.

ZONE:
 LAC
 SCALED RESIDENTIAL OVERLAY ZONE (SROZ)
 HILLSIDE OVERLAY ZONE (HOZ)

FRONT SETBACK: 25'-0"
SIDE SETBACK: 10'-0"
STREET SIDE SETBACK: 10'-0"
REAR SETBACK: 25'-0"

LOT AREA: GROSS 28,709 SF
 NET 28,099 SF

AREA OF WORK

IRRIGATED LANDSCAPE	7,101 SF	
WATER FEATURE	64 SF	
DECORATIVE HARDSCAPE	641 SF	
AGGREGATED LANDSCAPE AREA	7,806 SF	

	EXISTING	PROPOSED
NON-LANDSCAPED AREA	7,562 SF	9,885 SF
NON-IRRIGATED LANDSCAPE	8,837 SF	8,837 SF
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TOTAL LOT AREA:	28,709 SF	28,709 SF

MAX BUILDING HEIGHT: 25'-0"
PROPOSED BUILDING HGT: 24'-10" (24.83')

LOT AREA: GROSS 28,709 SF
 NET 28,099 SF

FLOOR TO AREA RATIO ALLOWABLE:
 0.500 x 6,000 = 3,000 s.f.
 0.175 x 9,000 = 1,575 s.f.
 0.100 x 5,000 = 500 s.f.
 0.050 x 8,000 = 400 s.f.

PROPOSED BUILDING AREA:
 EXISTING RESIDENCE: (TO BE REMOVED)
 LIVING AREA: 1,268 SF
 GARAGE: N/A

PRINCIPLE RESIDENCE: 2,860 SF
PRINCIPLE RESIDENCE GARAGE-STOR: 564 SF
PRINCIPLE RESIDENCE COVERED PATIO: 232 SF
PRINCIPLE RESIDENCE TOTAL: 3,656 SF
ACCESSORY LIVING UNIT: 744 SF
SUBTOTAL: 4,400 SF

PARKING EXEMPT: 400 SF
TOTAL FLOOR AREA: 4,035 SF

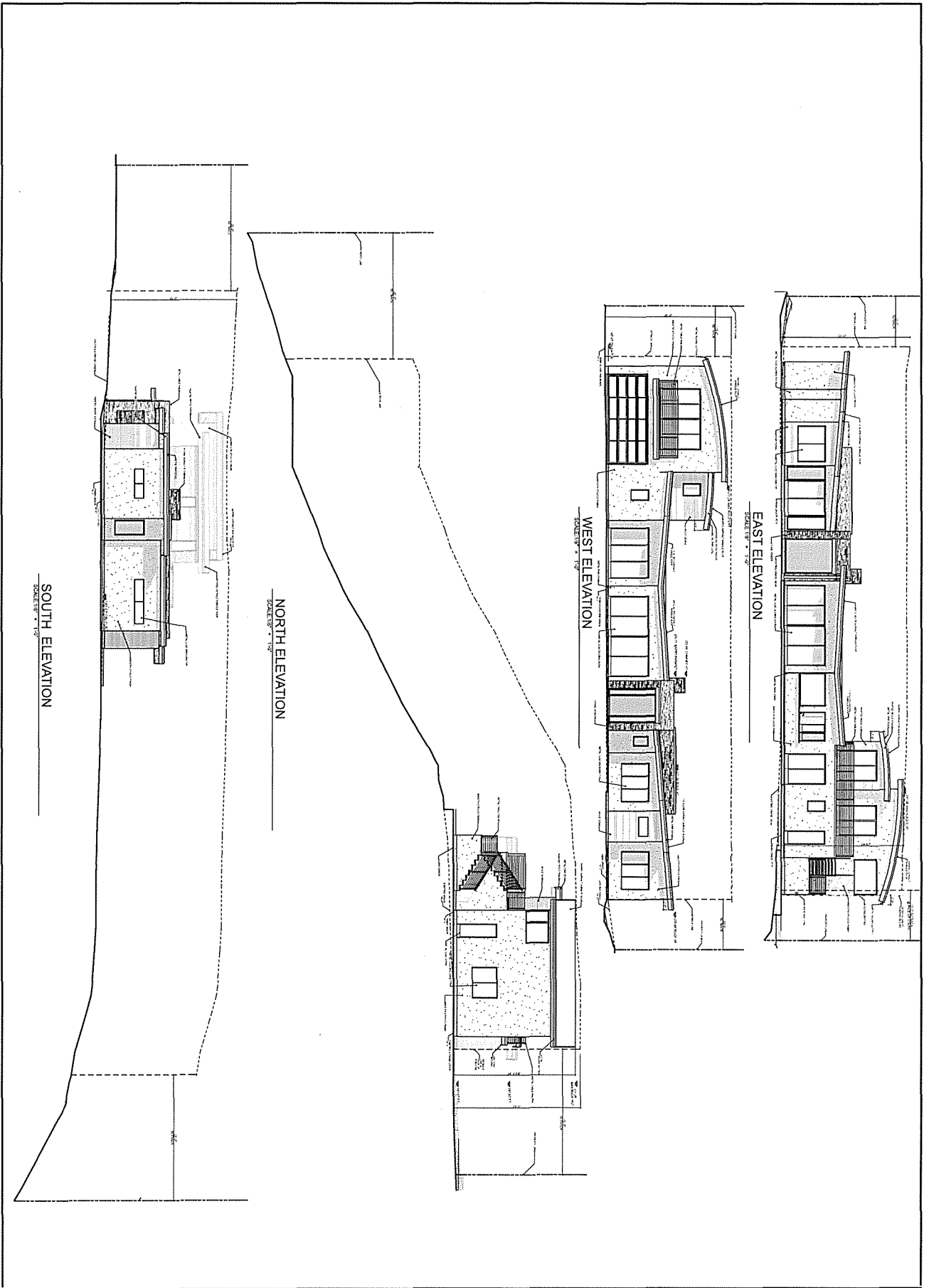
GRADING:
 SITE GRADING: CUT= 103 CY; FILL= 68 CY; 35 CY EXPORT
 EXCAVATION FOR THE FOOTINGS: 14 CY
 REMOVAL AND RE-COMPACTION: 122 CY
 TOTAL GRADING: 171 CY

TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLERS: YES

OWNER:
 EVAN AND ASHLEY COOPER
 336 SOUTH NARDO AVE.
 SOLANA BEACH, CA 92075
 858-342-1750

OWNER'S REPRESENTATIVE:
 CRAIG FRIEHAUF

LEGEND:
 FIRST FLOOR LIVING AREA 2,860 SF
 GARAGE-STORAGE 564 SF
 COVERED PATIO 232 SF



5

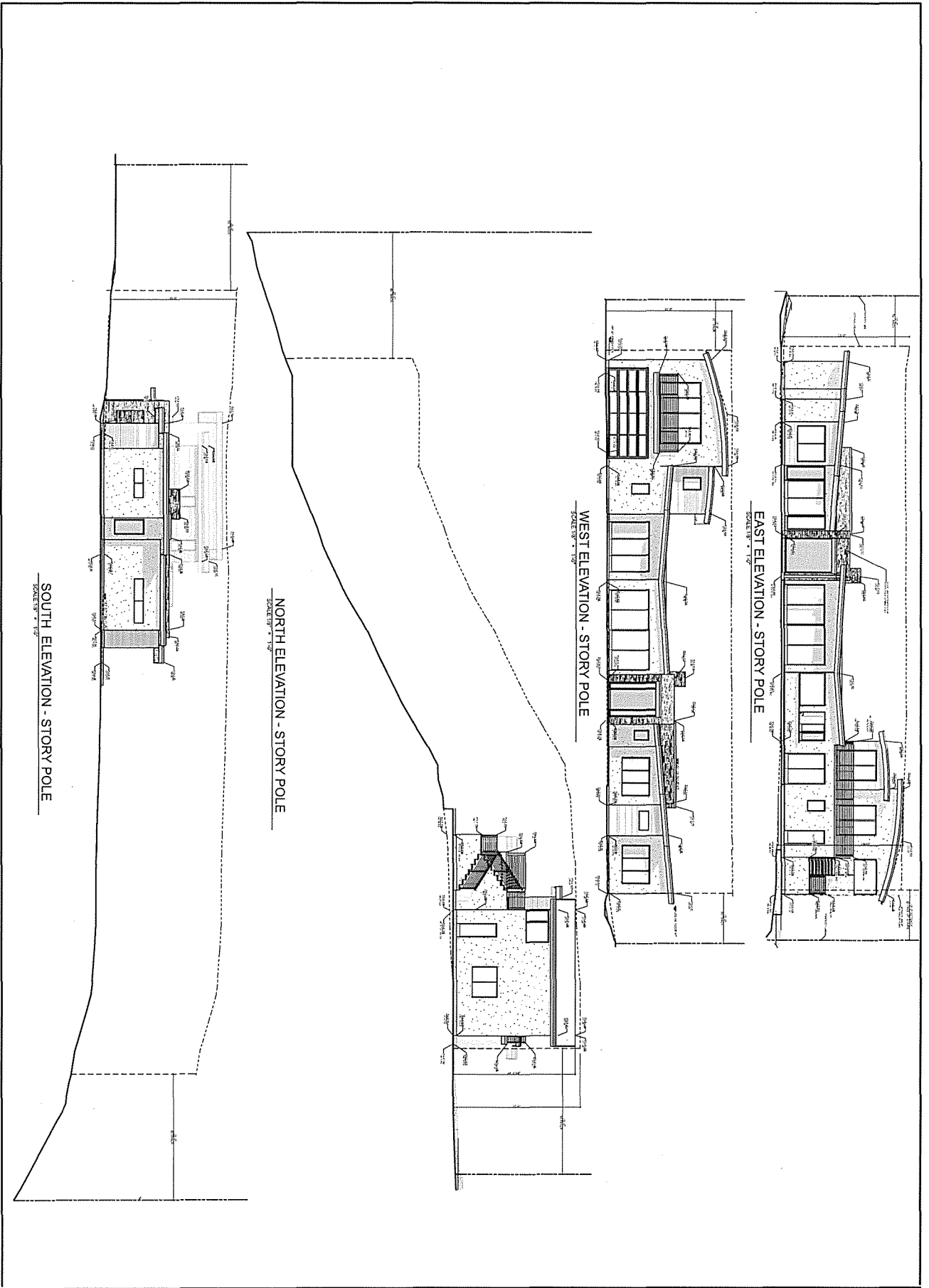
SHEET NO.
 FEB 15, 2010
 APR 22, 2010
 MAY 28, 2010
 AUG 13, 2010

DATE:
FRIEHAUF ARCHITECTS
 341 South Cedros Avenue, Suite F
 Solana Beach, California, 92075
 858.792.6116 Tel
 858.792.2422 Fax



Cooper Residence
 336 South Nardo
 Solana Beach, CA 92075

FRIEHAUF ARCHITECTS



6

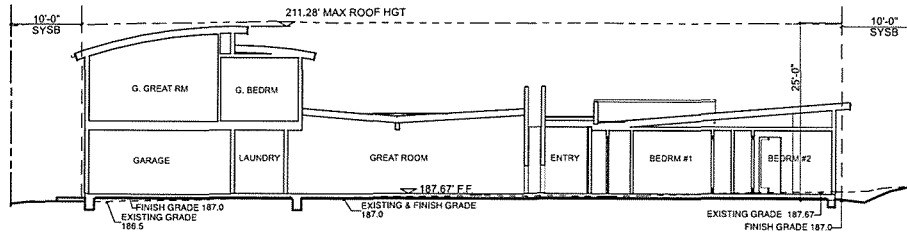
SHEET NO.
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 APR 22 2013
 MAY 28 2013
 AUG 13 2013

DATE:
 FRIEHAUF ARCHITECTS
 341 South Cedros Avenue, Suite F
 Solana Beach, California, 92075
 858.792.6116 Tel
 858.792.2422 Fax

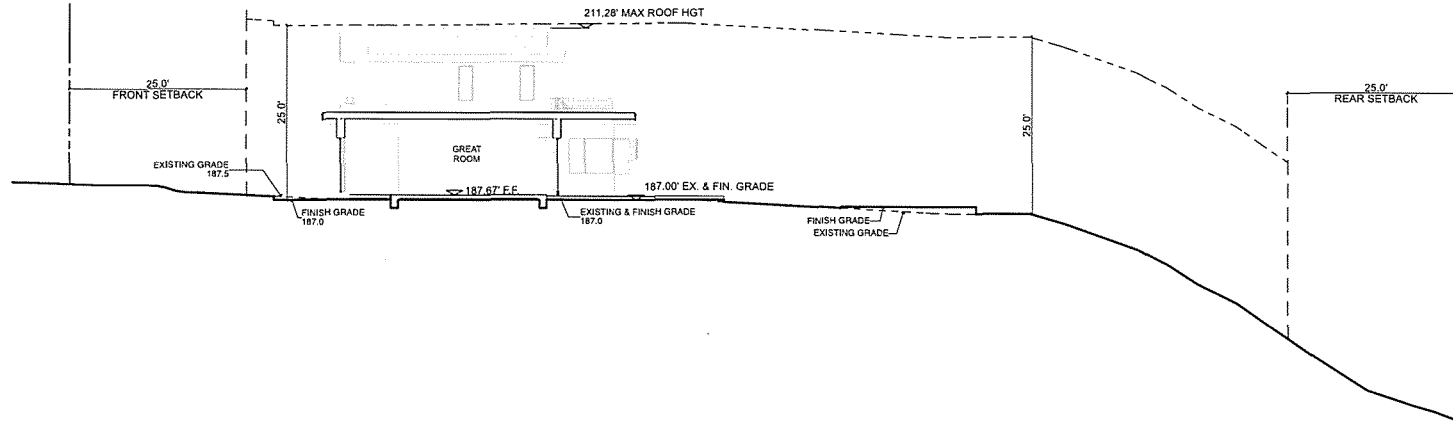


Cooper Residence
 336 South Nardo
 Solana Beach, CA 92075

FRIEHAUF ARCHITECTS



① SITE SECTION
SCALE: 1/4" = 1'-0"



② SITE SECTION
SCALE: 1/4" = 1'-0"



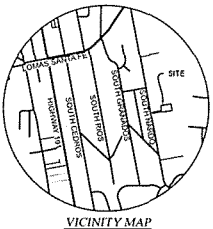
DATE:

FEB 19, 2019
APRIL 23, 2019
MAY 28, 2019
AUG 13 2019

SHEET NO.

7

PRELIMINARY GRADING PLAN



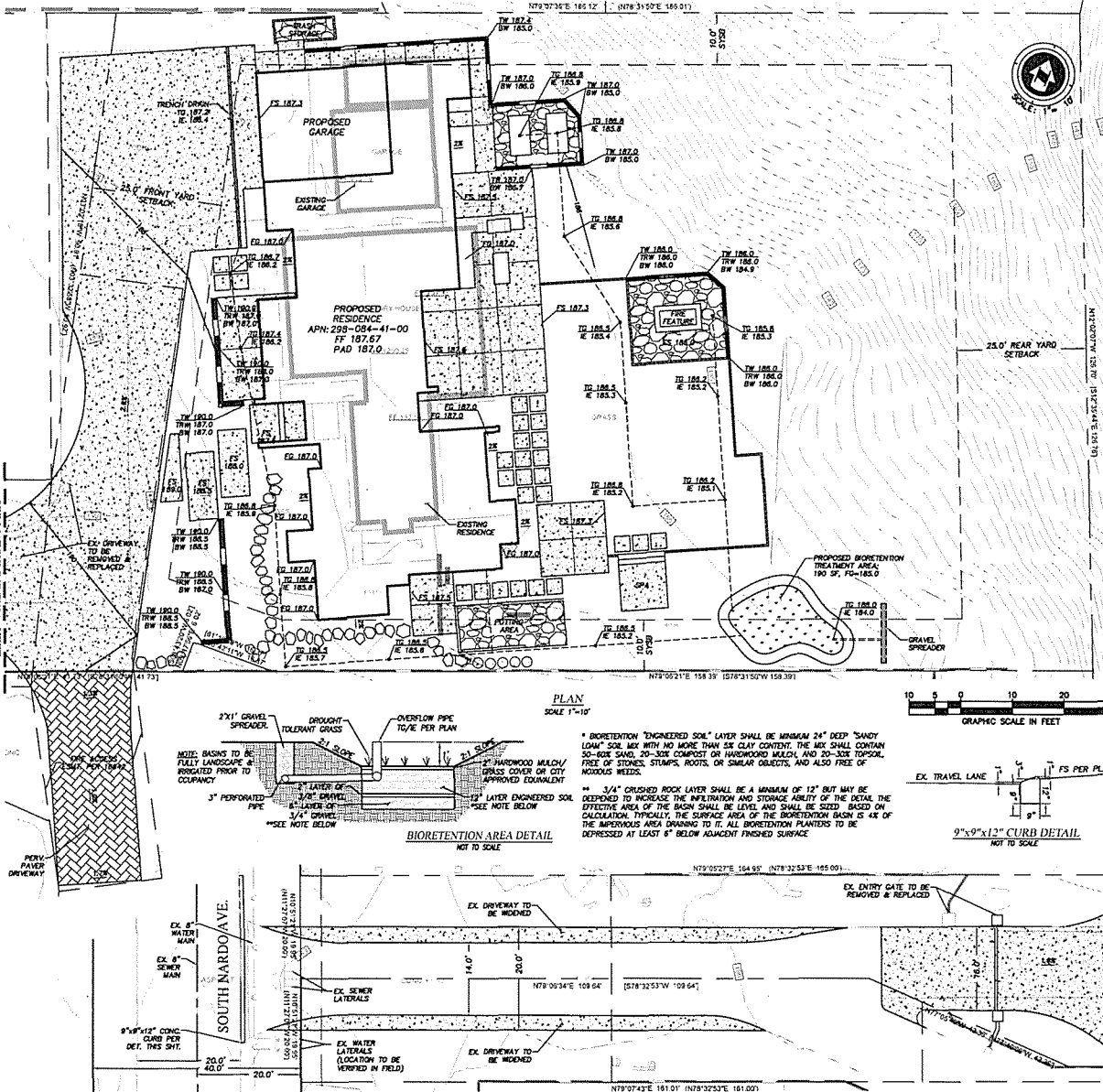
VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED PERMITS AND BEING APPROVABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- APPROPRIATE PERMITS FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
UNDERGROUND SA. (800)-237-7800
- THE SOILS REPORTS SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS, AND OWNER OF THE GRADING OR DRAINAGE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OF RECORD.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE UNLOADING, REPAIR, ARRIVAL, DEPARTURE OR REPAIRING OF TRUCKS, EQUIPMENT, EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 6:00 P.M. EACH DAY. IMPROVEMENTS THROUGH DRIVEWAYS AND EXISTING GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUGHED INTO EXISTING TERRAIN TO PRODUCE A CONTIGUOUS TRANSITION FROM CUT OR FILL FACES TO NATURAL GRASS AND EXISTING CUT OR FILL FACES.
- NOTWITHSTANDING THE ANNUAL STAGNATION SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY, NO PERSON SHALL DISGARD OR LANDFILL DEBRIS TO THE PROPERTY LINE AS TO EXISTING ANY ADJACENT PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SERVICE DRIVEWAY OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTIVE SUCH PROPERTY FROM SETBACKS, GRADING, EROSION, SLIDING SOILS OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEGRADED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIO: CUT 2:1 FILL 2:1
CUT: 100 CY FILL: 60 CY EROSION: 35 CY
(NOTE: A SEPARATE HOLD PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREA.)
- THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGLE UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH (954)705-2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1 OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1 PRIOR TO ANY PLANTING. ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. [NUMBER] HAS BEEN PERFORMED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN." THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE ONE ENGINEER WHO CERTIFIED SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING STOPPING AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

EARTHWORK QUANTITIES:

CUT: 103 CY *
FILL: 60 CY *
EXPORT: 35 CY
*EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED FILL VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.



LEGAL DESCRIPTION
PARCEL 2, TOGETHER WITH A PORTION OF PARCEL 4 OF PARCEL MAP NO. 16642, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED SEPTEMBER 20, 1991, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.
A.P.N.: 298-084-41-00
SITE ADDRESS: 336 SOUTH NARDO AVENUE, SOLANA BEACH, CA 92075
OWNER/PERMITTEE: DAN & AFSANEH COOPER, 336 NARDO AVENUE, SOLANA BEACH, CA 92075
TOPOGRAPHIC SURVEY: PASCO LARET SUTTER & ASSOCIATES (650)-258-8212

WORK TO BE DONE
THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:
STANDARD SPECIFICATIONS
(1) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS
(2) CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES
(3) STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS
STANDARD DRAWINGS
(1) SAN DIEGO REGIONAL STANDARD DRAWINGS
(2) STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD PLANS

LEGEND

LINE DESCRIPTION	SYMBOL
PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
PROPOSED SETBACKS	---
PROPOSED CONTOUR LINE	---
EXISTING CONTOUR LINE	---
OWNER'S CERTIFICATE	---

I HEREBY ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AS BY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE TO THIS GRADING PLAN. I HAVE READ AND UNDERSTAND THE TERMS AND CONDITIONS OF THESE PLANS.

IF IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DEEMES NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 90 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY MORNING WORKING DAY UNTIL COMPLETED, RESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

DECLARATION OF RESPONSIBLE CHARGE
I, DAN & AFSANEH COOPER, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 9105 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2007-115.

I UNDERSTAND THAT THE CHECKS OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITY FOR PROJECT DESIGN.

BY: *Dan Cooper* DATE: 1/23/2019
FOR: PASCO LARET SUTTER & ASSOCIATES

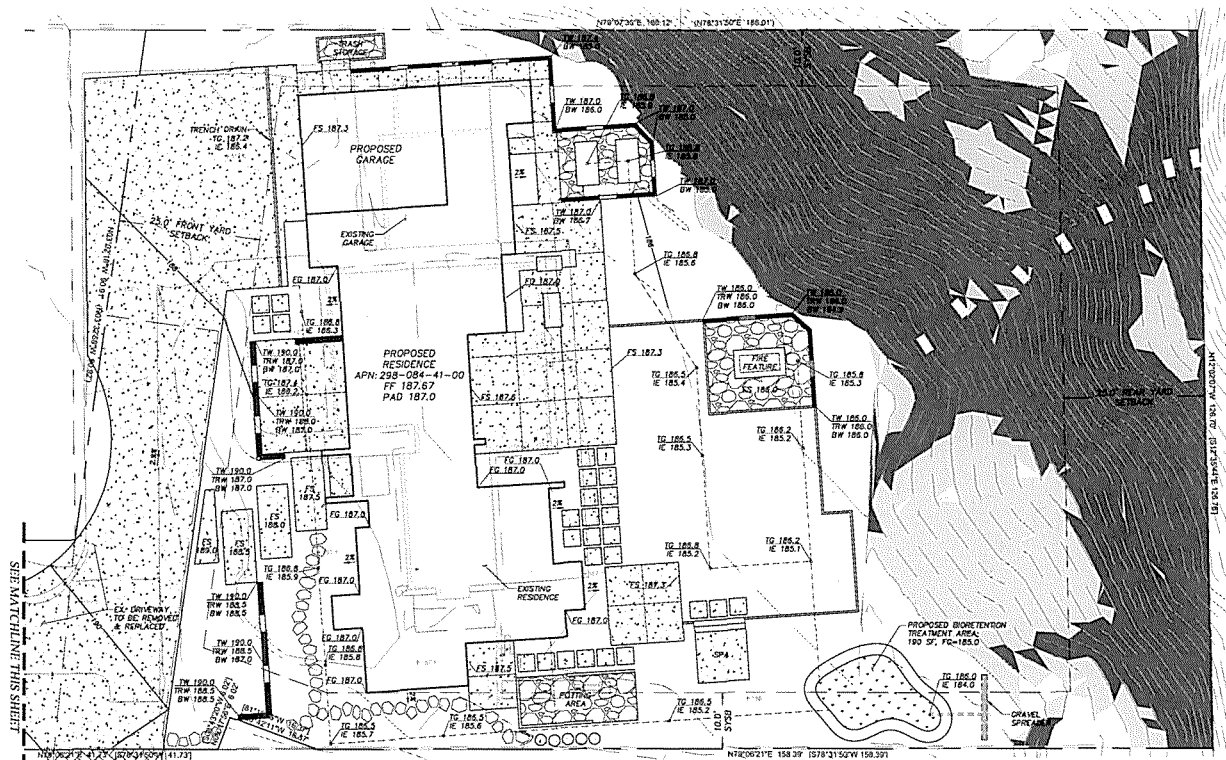
EROSION CONTROL NOTES

- STORM WATER AND NON-STORM WATER DEGRADATION CONTROL BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MINIMIZE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROL SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE INITIATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPER. REVERSE CONDITIONS OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:
SEED SPECIES: HYDRATED ALUMINA, ETC.
A LAYER MATRY APPLIED AT 1.000 LB/AC/AC
SEED SPECIES: STRIPED ALGUA, PLANTAIN
- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DECKED OR TRAPPED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS, DEPOSITING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SHED AND BIG OBJECTS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNIMPAVED AREAS WITH GRADIENTS IN EXCESS OF 2% AS WELL AS ON OR NEAR EXIST POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
- SHEDS MUST BE PLACED ON THE UPRIGHT SIDE OF ALL DRAINAGE PALETS TO MINIMIZE SILT BUILDUP IN THE PALETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MAINTAIN AN IRONIC OXIDE FILM FROM GRADING AND MAINTAIN OPERATIONS OR EXCESSIVE WIND CONDITIONS AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

PASCO LARET SUTTER
10000 S. LAKE AVENUE, SUITE 100, SAN DIEGO, CA 92126
(619) 444-1111
COASTAL COMMISSION PERMIT NO. _____

SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APPROVED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	PRELIMINARY GRADING PLAN FOR
Drawn By: <i>VR</i>	By: <i>DAN & AFSANEH COOPER</i> DATE: 1/23/2019		By: _____ DATE: _____	By: _____ DATE: _____	SURVEY CONTROL STATION 2001 "SOLB-1", 25" BRASS BOLT PER ACS 18971	336 SOUTH NARDO AVE.
Distal Representative	Date: 12/31/19		Date: _____	Date: _____	DWG: 7145'	SHEET 1 OF 1

SLOPE ANALYSIS



LEGEND

TRM DESCRIPTION

PROPERTY LINE

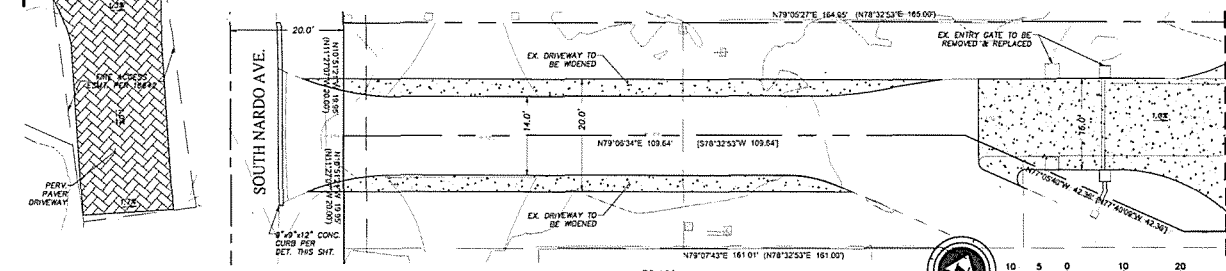
ADJACENT PROPERTY LINE

PROPOSED SETBACKS

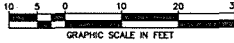
EXISTING NATURAL SLOPE BETWEEN 25%-40%

EXISTING NATURAL SLOPE OVER 40%

SYMBOL



PLAN
SCALE 1"=10'



PASCO LARET SUITER & ASSOCIATES
 1000 S. GARDEN ST., SUITE 100, ANAHEIM, CA 92805
 (714) 944-1111

COASTAL COMMISSION PERMIT NO.

SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APPROVAL DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
District Representative Date: _____	By: <u>BRIAN ASCOLINO</u> Date: <u>1/28/19</u> Name: <u>BRIAN ASCOLINO</u> R.C.E. <u>7189</u> Exp: <u>12/31/19</u>			By: _____ Review Engineer Date: _____	By: _____ City Engineer R.C.E. _____ Date: _____	SURVEY CONTROL STATION 2001 "502B-1", 2.5' GRASS DOG PER ROS 18871 ELEV: 71.45' DATUM: MVD 88	PRELIMINARY GRADING PLAN FOR 336 SOUTH NARDO AVE.	
								SHEET 1 OF 1 PLSA 2953

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY
GROUNDCOVERS			
ROMARINUS OFF. HUNNINGTON CARPET	DWARF ROSEMARY (LW)	FLATS 8" O.C.	
JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE CARPET JUNIPER (LW)	1 GAL 3" O.C.	
DYMONDIA MARGARETAE	DYMONDIA (LW)	FLATS 6" O.C.	
DWARF MARATHON II SOD	FESCUE BLEND (HW)	SOD	
TRACHELOSPERMUM JASMINIODES	STAR JASMINE (MW)	FLATS 6" O.C.	

SHRUBS				HEIGHT/SPD.
1 PRUNUS CAROLINA 'BRIGHT N' TIGHT'	CAROLINA CHERRY (MW)	15 GAL	17	12' x 4'
2 DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED DIANELLA (MW)	5 GAL	18	2' x 2'
3 HESPERALOE PARVIFLORA	RED YUCCA (LW)	1 GAL	33	2' x 2'
4 ALOE STRIATA	CORAL ALOE (LW)	1 GAL	10	2' x 2'
5 ASPARAGUS MYRILLI	MEYERS ASPARAGUS (MW)	1 GAL	31	2' x 2'
6 PERLARGONIUM CRISPUM	LEMON SCENTED GERAN(LW)	1 GAL	15	2' x 2'
7 POLYGALA DALMAISIANA	SWEET PEA SHRUB (MW)	5 GAL	17	6' x 5'
8 LAVANDULA ANGSTIFOLIA	ENGLISH LAVENDER (LW)	5 GAL	3	5' x 3'
9 PEROVSKIA 'BLUE SPIRE'	RUSSIAN SAGE (LW)	5 GAL	6	5' x 5'
10 CUPHEA HYSSOPIFOLIA	FALSE HEATHER (MW)	1 GAL	20	4' x 4'
11 WESTRINGIA FRUTICOSA	COAST ROSEMARY (LW)	5 GAL	5	4' x 4'
12 TAGETES LEMMONII	COPPER CANYON DAISY(LW)	1 GAL	4	4' x 5'
13 HEMEROCALLIS HYBRID	DAYLILY TRANSPLANTED (MW)			2' x 2'
14 PHILODENDRON S. 'XANADU'	DWARF PHILODENDRON (MW)	5 GAL	41	2' x 2'
15 STRELITZIA REGINAE	BIRD OF PARADISE (LW)	5 GAL	9	4' x 5'
16 PHORMIUM HYBRID 'MAORI MAIDEN'	N.Z. FLAX (MW)	15 GAL	2	4' x 4'
17 AEONIUM VARIETY	'DINNERPLATE' (LW)	1 GAL	15	1' x 2'

TREES	SIZE	QTY	
CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE (MW)	24" BOX	1 20' x 20'
FEIJOA SELLOWIANA MULTI TRUNK	PINEAPPLE GUAVA (LW)	15 GAL	1 15' x 7'
DWARF CITRUS VARIETIES	TRANSPLANTED (MW)	15 GAL	2 2' x 4'

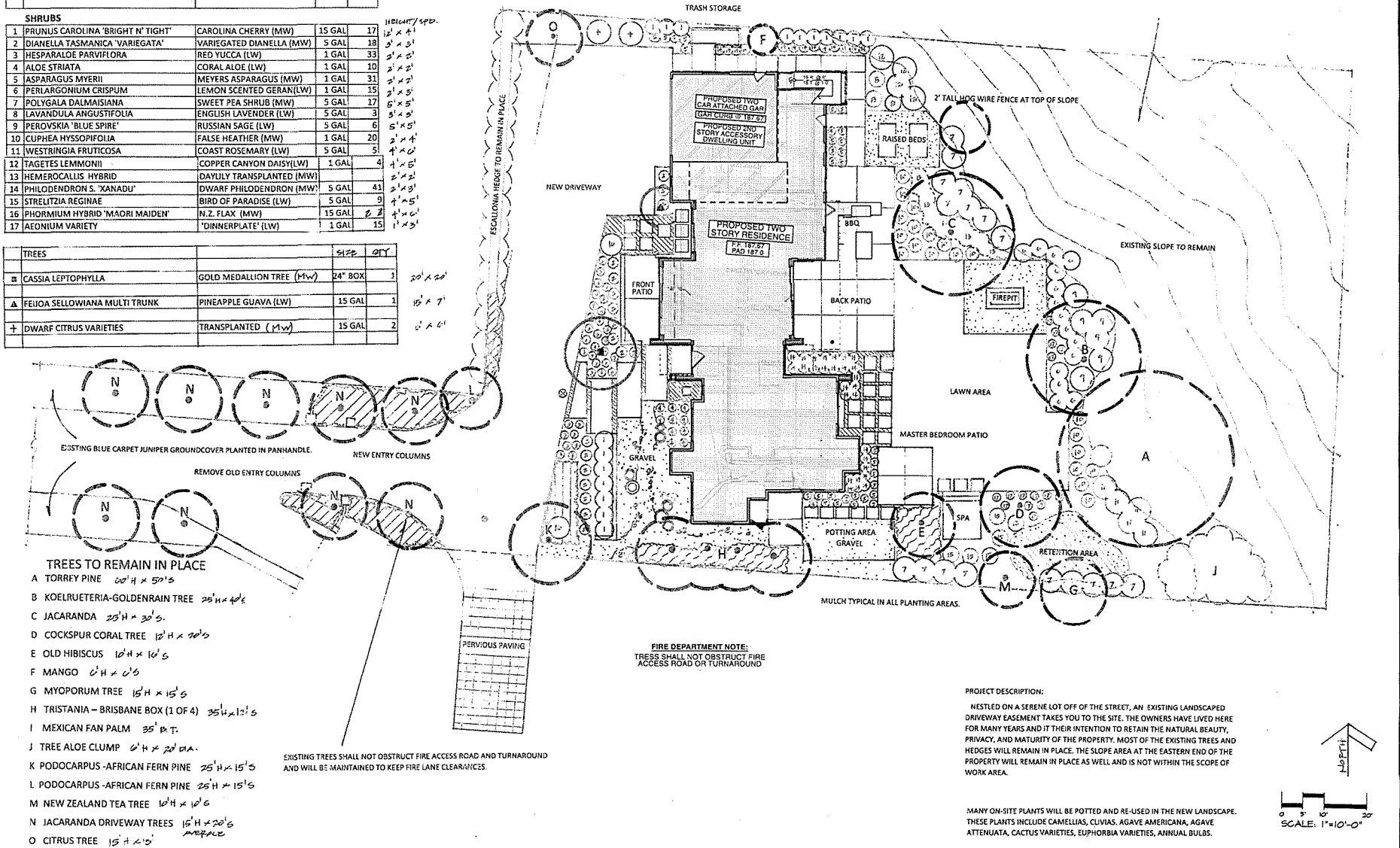
TREES TO BE REMOVED DURING CONSTRUCTION

- EUCALYPTUS FICIFOLIA (1 FOR DRIVEWAY WIDENING)
- JACARANDAS (2 FOR DRIVEWAY WIDENING)
- MAGNOLIA GRANDIFLORA (1 AT NEW HOUSE FOOTPRINT)
- MYRTLE SHRUB/SMALL TREE (3 SOUTH END OF FRONTYARD)
- HOLLYWOOD JUNIPER (1 AT NEW HOUSE FOOTPRINT)

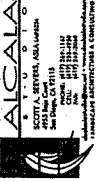
TREES TO BE TRANSPLANTED

- CITRUS - SATSUMA 1
- DWARF AVOCADO 1
- OLIVE TREE 1

PLANTS ON THE EXISTING SLOPE ARE TO REMAIN INTACT AND IN PLACE AND ARE NOT PART OF SITE GRADING OR LANDSCAPE IMPROVEMENTS. SOME OF THE EXISTING PLANTS ON SLOPE INCLUDE RHUS LANCEA, JADE PLANT, YUCCA, CYPRESS TREES, LEUCADENDRON, AND SEASONAL NASTURTIUMS.



REVISIONS	BY
1	15.11



LANDSCAPE CONCEPT PLAN

COOPER RESIDENCE
336 SOUTH NARDO
SOLANA BEACH, CA 92075

DATE	2-15-19
SCALE	1" = 10'
SHEET	1
TOTAL SHEETS	2



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

Project Name: COOPER 336 S. NARDO AVE.

The project's Estimated Total Water Use is calculated using the following formula: $ETWU = (ETW) \times (0.02) \left(\frac{PF + HA}{IE} + SLA \right)$

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET			
Line	Hydro-zone	Hydro-zone	Hydro-zone
Hydro-zone Legend (1-4 below - use as many sections as necessary to complete all hydrozones)			
ETW (Line 1)	1	2	3
ETW (Line 2)	4	5	6
ETW (Line 3)	7	8	9
ETW (Line 4)	10	11	12
ETW (Line 5)	13	14	15
ETW (Line 6)	16	17	18
ETW (Line 7)	19	20	21
ETW (Line 8)	22	23	24
ETW (Line 9)	25	26	27
ETW (Line 10)	28	29	30
ETW (Line 11)	31	32	33
ETW (Line 12)	34	35	36
ETW (Line 13)	37	38	39
ETW (Line 14)	40	41	42
ETW (Line 15)	43	44	45
ETW (Line 16)	46	47	48
ETW (Line 17)	49	50	51
ETW (Line 18)	52	53	54
ETW (Line 19)	55	56	57
ETW (Line 20)	58	59	60
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ETW (Line 22)	64	65	66
ETW (Line 23)	67	68	69
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ETW (Line 27)	79	80	81
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ETW (Line 204)	610	611	612
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ETW (Line 223)	667	668	669
ETW (Line 224)	670	671	672
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ETW (Line 228)	682	683	684
ETW (Line 229)	685	686	687
ETW (Line 230)	688	689	690
ETW (Line 231)	691	692	693
ETW (Line 232)	694	695	696
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ETW (Line 237)	709	710	711
ETW (Line 238)	712	713	714
ETW (Line 239)	715	716	717
ETW (Line 240)	718	719	720
ETW (Line 241)	721	722	723
ETW (Line 242)	724	725	726
ETW (Line 243)	727	728	729
ETW (Line 244)	730	731	732
ETW (Line 245)	733	734	735
ETW (Line 246)	736	737	738
ETW (Line 247)	739	740	741
ETW (Line 248)	742	743	744
ETW (Line 249)	745	746	747
ETW (Line 250)	748	749	750
ETW (Line 251)	751	752	753
ETW (Line 252)	754	755	756
ETW (Line 253)	757	758	759
ETW (Line 254)	760	761	762
ETW (Line 255)	763		



DATE:

FEB 19, 2019
APRIL 22, 2019
MAY 28, 2019
AUG 13, 2019

SHEET NO.

3

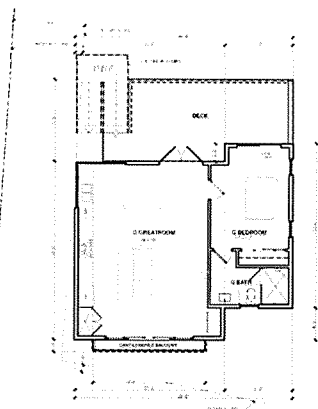
PROJECT INFORMATION
 APN: 238 024 41 03
 SITE ADDRESS: 336 SOUTH NARDO AVENUE, SOLANA BEACH, CA
 LEGAL DESCRIPTION:
 PARCEL 2, TOGETHER WITH A PORTION OF PARCEL 4 OF PARCEL MAP NO. 16542, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, PREPARED SEPTEMBER 20, 1991, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.
 ZONE:
 LR:
 SCALED RESIDENTIAL OVERLAY ZONE (SROZ):
 RESIDUAL OVERLAY ZONE (ROZ)
 FRONT SETBACK: 25'-0"
 SIDE SETBACK: 10'-0"
 STREET SIDE SETBACK: 10'-0"
 REAR SETBACK: 25'-0"
 LOT AREA: GROSS 26,709 SF
 NET 26,093 SF
 AREA OF WORK:
 IRRIGATED LANDSCAPE 7,101 SF
 WATER FEATURES 44 SF
 DECORATIVE LANDSCAPE 441 SF
 ACCREDITED LANDSCAPE AREA 7,586 SF
 NON LANDSCAPED AREA:
 NON-IRRIGATED LANDSCAPE 5,917 SF
 IRRIGATED LANDSCAPE 12,703 SF
 WATER FEATURES 0 SF
 DECORATIVE LANDSCAPE 0 SF
 TOTAL LOT AREA: 23,709 SF 23,709 SF

MAX BUILDING HEIGHT: 25'-0"
 PROVIDED BUILDING HGT: 24'-10" (24'-0")
 LOT AREA: GROSS 26,709 SF
 NET 26,093 SF

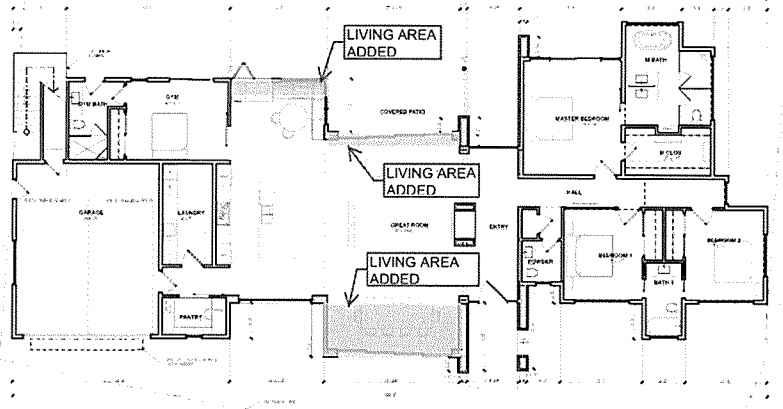
FLOOR TO AREA RATIO ALLOWANCE:
 0.500 x 6,000 = 3,000 SF
 0.175 x 9,000 = 1,575 SF
 0.700 x 5,000 = 3,500 SF
 0.550 x 6,700 = 3,685 SF
 5,570 S.F. Maximum Allowed

PROVIDED BUILDING AREA:
 EXISTING REDEMPTION TO BE REMOVED:
 LIVING AREA 1,368 SF
 GARAGE N/A
 PRINCIPLE RESIDENCE 2,440 SF
 PRINCIPLE RESIDENCE GARAGE-STOR. 364 SF
 PRINCIPLE RESIDENCE COVERED PATIO 340 SF
 PRINCIPLE RESIDENCE TOTAL 3,052 SF
 ACCESSORY DWELLING UNIT 224 SF
 SUBTOTAL 4,308 SF
 PARKING EXEMPT 400 SF
 TOTAL FLOOR AREA 4,708 SF

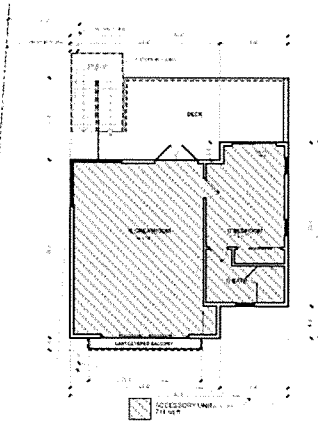
GRAVING:
 SITE GRADING: 627 + 103 CF, 848 + 68 CF, 35 CF EXCEPT
 GRAVING FOR THE FOOTINGS: 14 CF
 REMOVAL AND RE-COMPACTION: 122 CF
 TOTAL GRADING: 173 CF
 TYPE OF CONSTRUCTION: V-B
 FIRE SPRINKLERS: YES
 OWNER:
 EVAN AND MARGARET COOPER
 336 SOUTH NARDO AVE
 SOLANA BEACH, CA 92075
 258 242 1760
 OWNER'S REPRESENTATIVE:
 LINDA FRIEHAUF



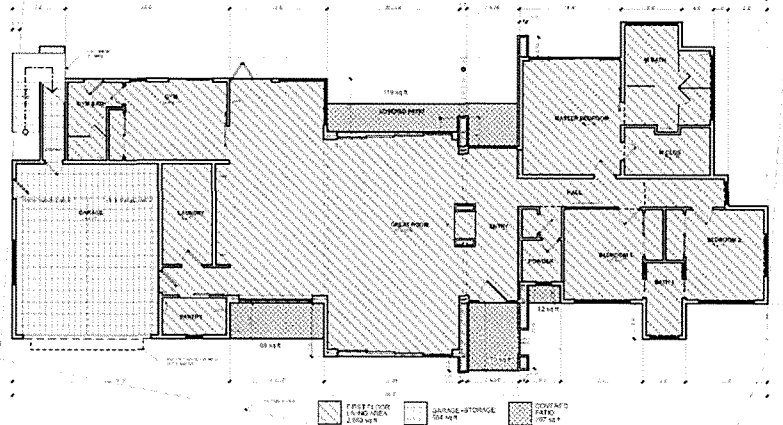
ACCESSORY DWELLING UNIT PLAN
SCALE 1/8" = 1'-0"



MAIN RESIDENCE FLOOR PLAN
SCALE 1/8" = 1'-0"

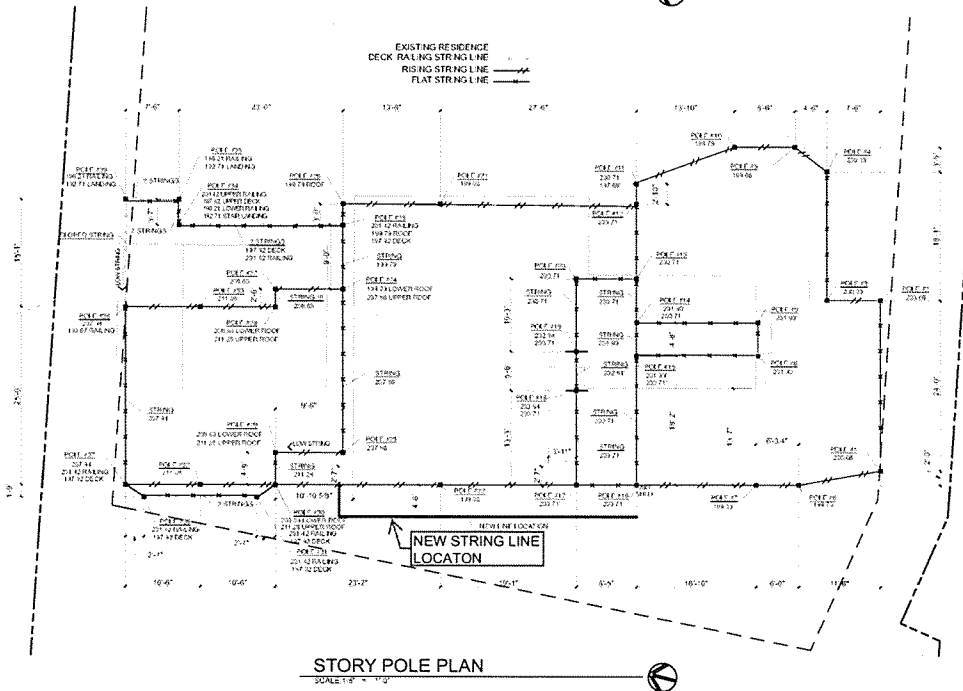
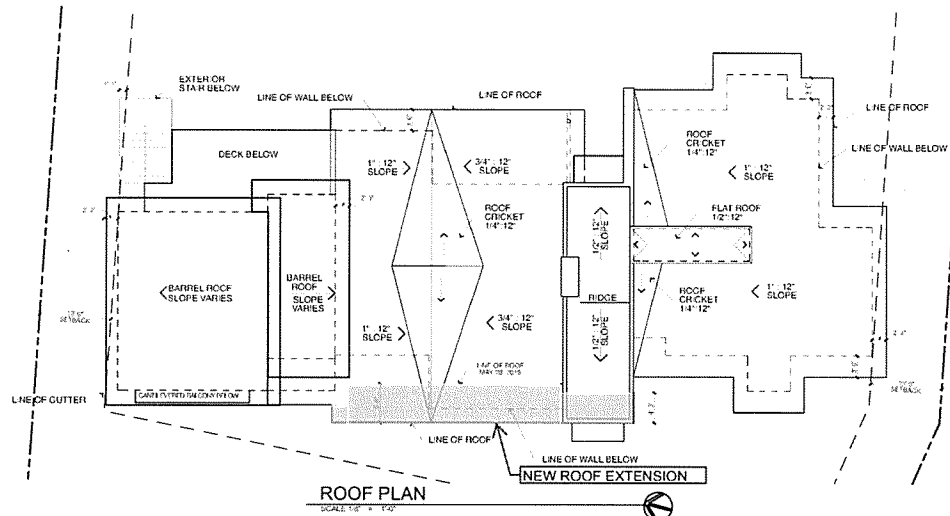


ACCESSORY DWELLING UNIT AREA
SCALE 1/8" = 1'-0"



MAIN RESIDENCE AREA
SCALE 1/8" = 1'-0"

ATTACHMENT 3



AS THE OWNER AT:

I HAVE REVIEWED THIS ROOF PLAN AND STORY POLE PLAN AND DO NOT HAVE AN ISSUE WITH THE PROPOSED CHANGE.

PRINT NAME _____

SIGNATURE _____



Cooper Residence
 336 South Nardo
 Solana Beach, CA 92075



FRIEHAUF ARCHITECTS
 Suite F
 341 South Cedros Avenue, Solana Beach, California, 92075
 858.792.6116 Tel
 858.792.2422 Fax

DATE:
 FEB 19, 2019
 APRIL 22, 2019
 MAY 28, 2019
 AUG 13, 2019

SHEET NO.

4



The City of Solana Beach Concurrent Processing Agreement

Project Name: Fomon	Project No: DRP 17-19-01
Project Address: 4250 NORTH LANE	

It is requested that the above named project be granted concurrent submittal and review of ministerial approvals pertaining to the pending discretionary actions on the development. By signing this agreement, the applicant certifies that said owner(s) acknowledges and agrees that:

1. The construction drawings and documents that are part of the ministerial approval application may have to be revised as necessary to reflect required changes to the conditions and the Exhibit "A" drawings and documents of the associated discretionary actions. This may require additional review time and costs.
2. No permits for work including demolition, grading, public improvement, or building construction will be issued until:
 - a. Final approval of the associated discretionary actions has occurred and all appeal periods have ended; and
 - b. The City has received evidence that any subsequent approvals required by other Federal, State or local agencies are obtained by the customer or owner(s).
3. In the event the discretionary permit is not approved and is denied, all other permit applications are deemed withdrawn and the paid fees are not refundable.

Furthermore, the applicant certifies that said owner(s) acknowledges and agrees all responsibility for changes required to the submitted construction drawings and documents as a result of and to achieve consistency with the discretionary actions for the development. The applicant acknowledges and agrees that the City assumes no responsibility for said changes that may impact the design of the development project as a result.

The applicant certifies that said owner acknowledges and agrees that plan review fees and deposits expended by City staff during the processing and review of the construction drawings and documents are non-refundable, and that additional fees or deposits may be required if additional staff review of these drawings and documents are necessary to reflect the final design of the development as approved in the corresponding discretionary actions.

Owner Name (please print):

BTF BUILD, LLC

Applicant Name (please print):

BRAD FOMON

Applicant Signature:

Date:

9.11.2019

For City Use Only

Hearing/Decision Date:

Project Manager Name:

Project Manager Signature:

Cooper Residence
336 South Nardo
Solana Beach, CA 92075



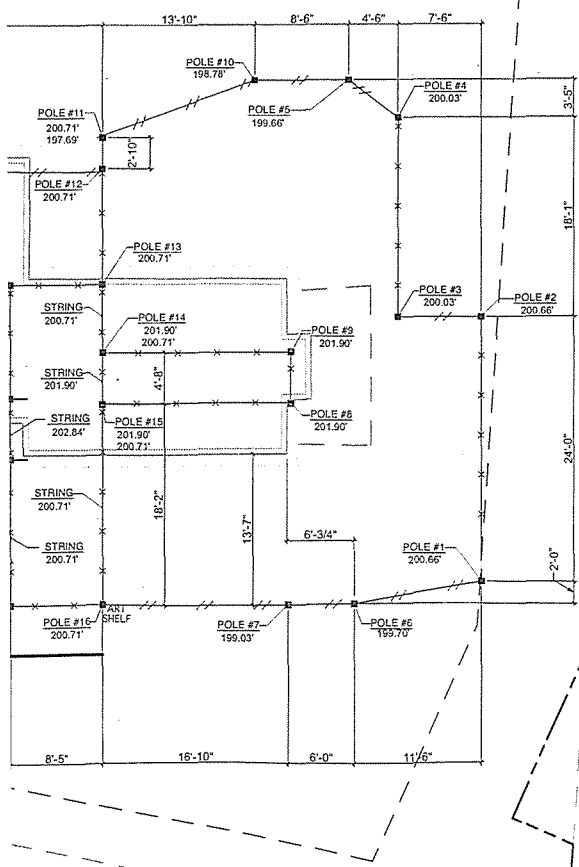
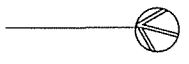
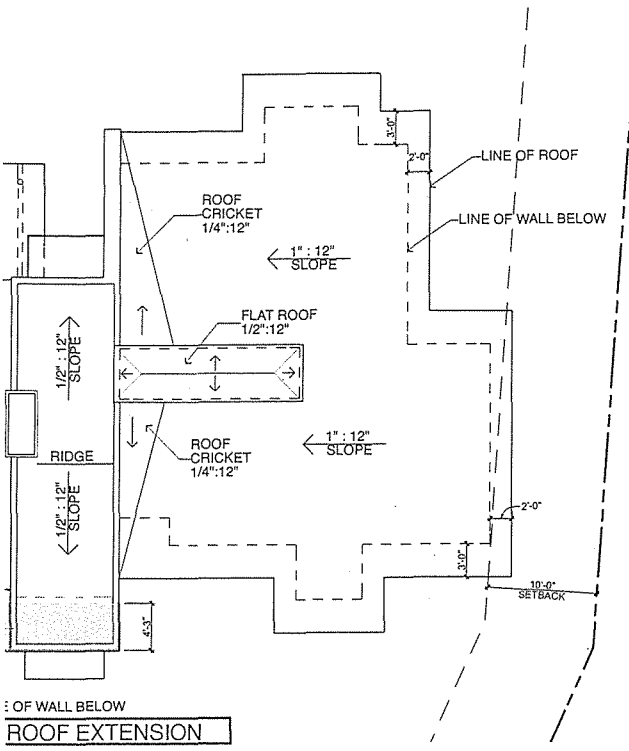
FRIEHAUF ARCHITECTS
341 South Cedros Avenue, Suite F
Solana Beach, California. 92075
858.792.6116 Tel
858.792.2422 Fax

DATE:

FEB 19, 2019
APRIL 22, 2019
MAY 28, 2019
AUG 13 2019

SHEET NO.

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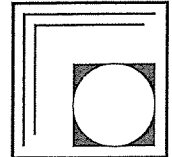


AS THE OWNER AT:
345 S. Nardo Ave
Solana Beach, CA 92075

I HAVE REVIEWED THIS ROOF PLAN AND STORY POLE PLAN AND DO NOT HAVE AN ISSUE WITH THE PROPOSED CHANGE,

Richard Lapham
PRINT NAME

Richard Lapham
SIGNATURE.



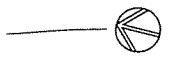
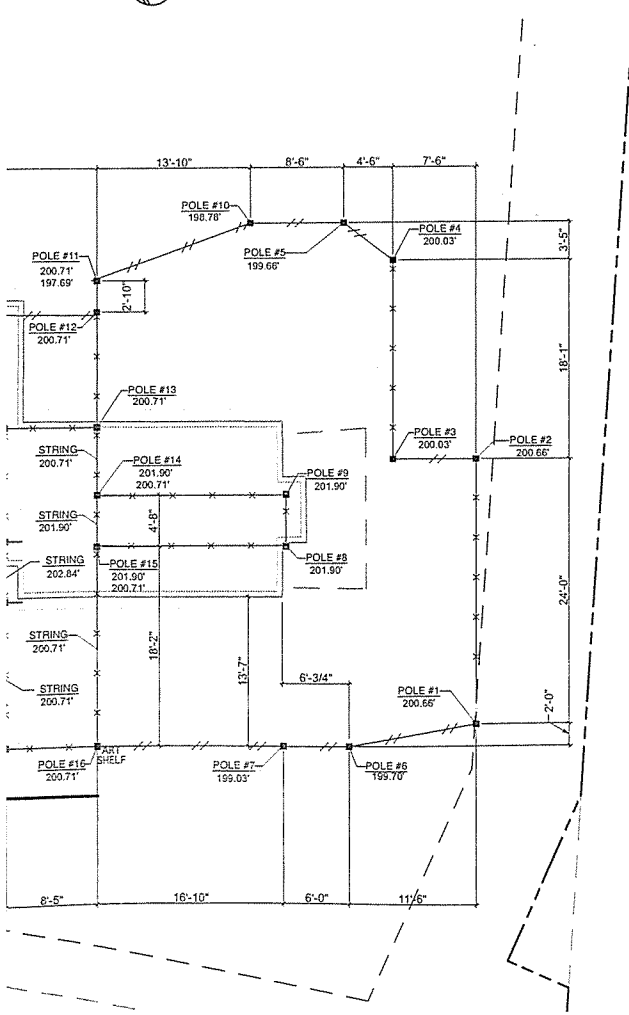
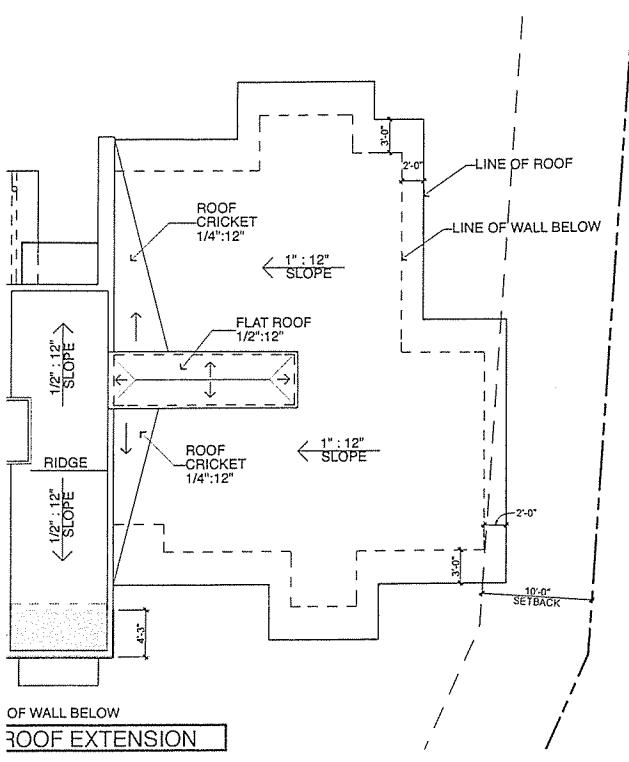
Cooper Residence
336 South Nardo
Solana Beach, CA 92075



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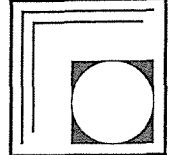
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AS THE OWNER AT:
328 S. Nardo Ave.
Solana Beach 92075

I HAVE REVIEWED THIS ROOF PLAN AND STORY POLE PLAN AND DO NOT HAVE AN ISSUE WITH THE PROPOSED CHANGE,

Bill Canepa
PRINT NAME
Bill Canepa
SIGNATURE.



Cooper Residence
336 South Nardo
Solana Beach, CA 92075



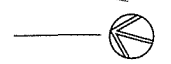
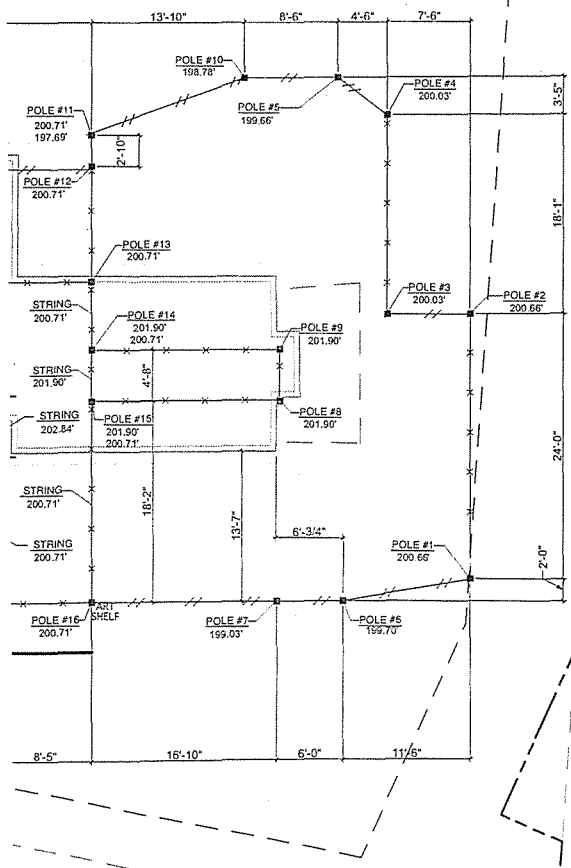
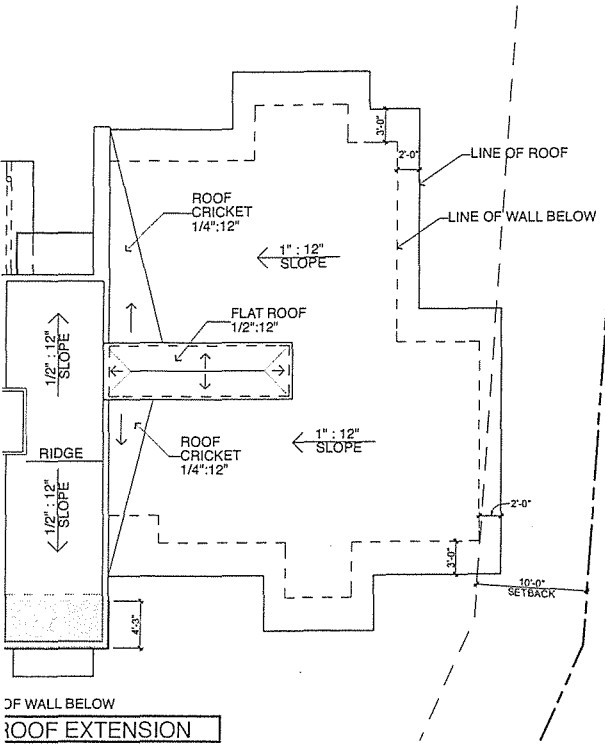
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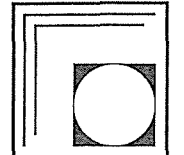
326 S. Nardo

I HAVE REVIEWED THIS ROOF PLAN AND STORY POLE PLAN AND DO NOT HAVE AN ISSUE WITH THE PROPOSED CHANGE,

Rob Schluff

PRINT NAME

SIGNATURE.



Cooper Residence
336 South Nardo
Solana Beach, CA 92075



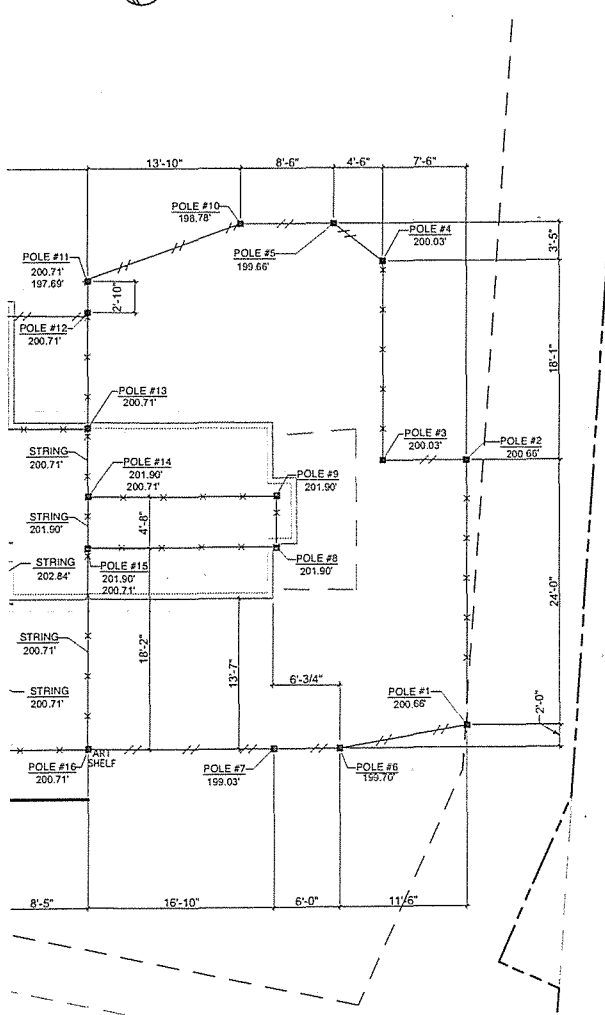
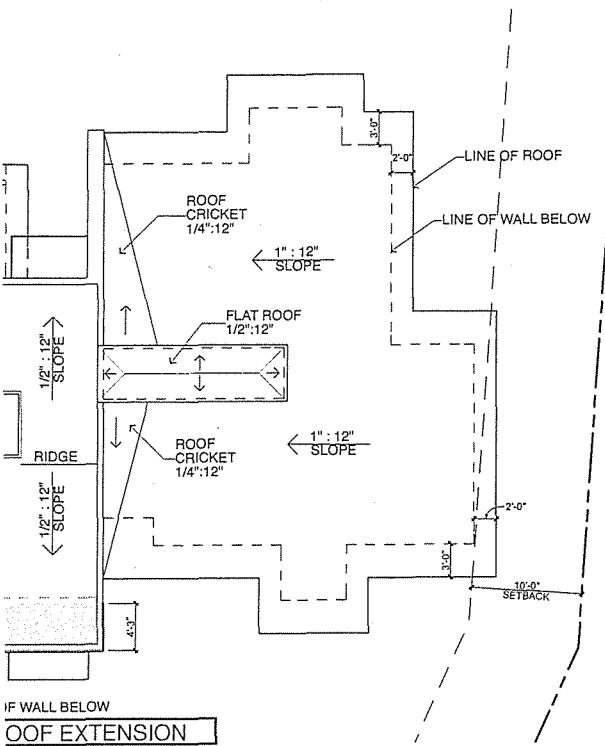
FRIEHAUF ARCHITECTS
341 South Cedros Avenue, Suite F
Solana Beach, California, 92075
858.792.6116 Tel
858.792.2422 Fax

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AUG 13 2019

SHEET NO.

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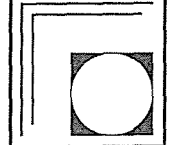
AS THE OWNER AT:

360 S. Nardo Ave.

I HAVE REVIEWED THIS ROOF PLAN AND STORY POLE PLAN AND DO NOT HAVE AN ISSUE WITH THE PROPOSED CHANGE,

Martha Ratzer, Trustee
PRINT NAME

Martha Ratzer
SIGNATURE.



Cooper Residence
336 South Nardo
Solana Beach, CA 92075



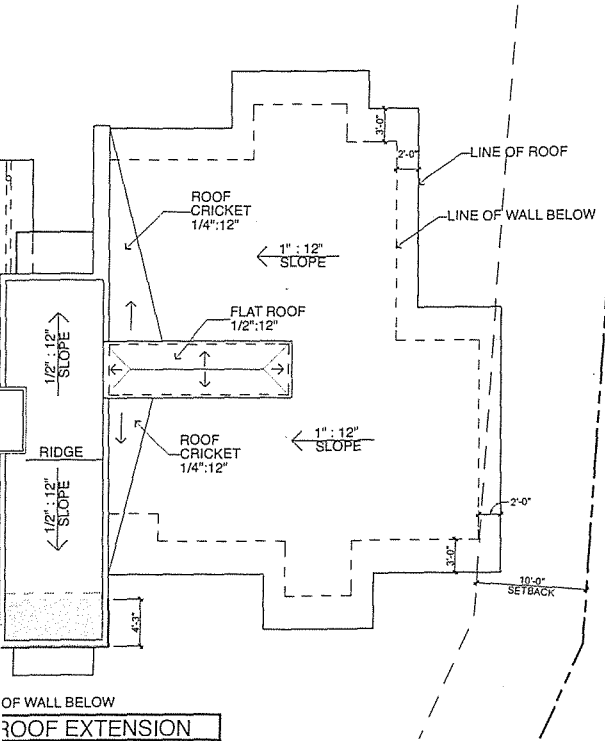
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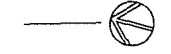
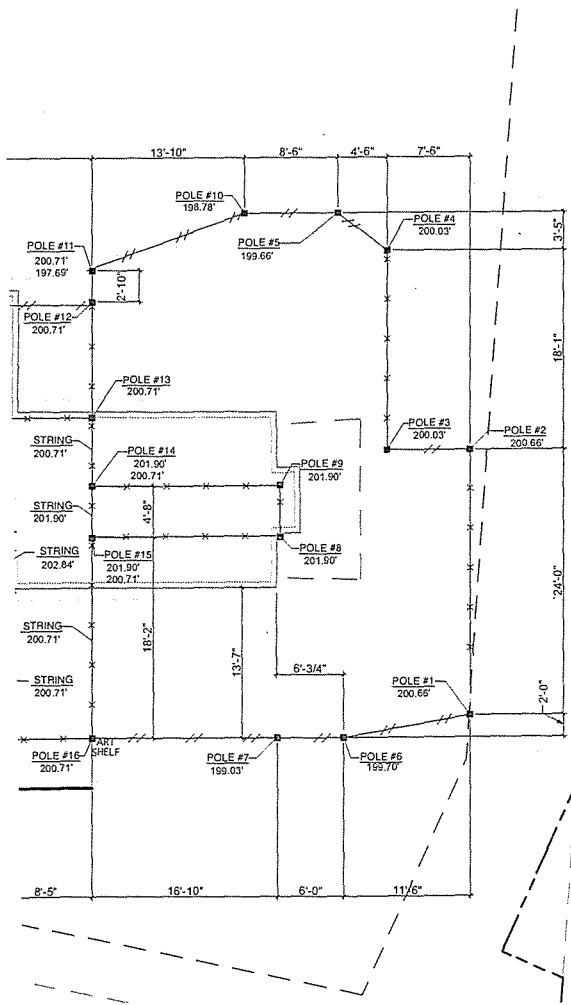
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MAY 28, 2019
AUG 13 2019

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OF WALL BELOW
ROOF EXTENSION

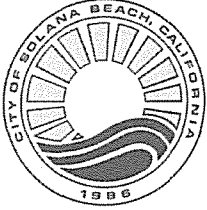


AS THE OWNER AT:
356 S. Nardo Ave
SB 92075

I HAVE REVIEWED THIS ROOF PLAN AND
STORY POLE PLAN AND DO NOT HAVE AN
ISSUE WITH THE PROPOSED CHANGE,

CARY COLBERT
PRINT NAME

[Signature]
SIGNATURE.



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: Engineering Department
SUBJECT: **Solana Beach Pump Station Construction Update and Consideration of Resolution No. 2019-126 for Change Order Work and Increased Construction Management and Design Services**

BACKGROUND:

The Solana Beach Pump Station (SBPS) is located at the north end of the City next to the railroad tracks and the San Elijo Lagoon. This station pumps approximately 92% of the City's sewage through a force main under the San Elijo Lagoon to the San Elijo Joint Powers Authority (SEJPA) water reclamation facility on Manchester Avenue. SEJPA maintains this pump station, which was originally constructed in 1966 and was significantly upgraded in 1982. More recently, the Solana Beach Sanitary Sewer Master Plan recommended extensive upgrades and replacements to the Solana Beach Pump Station. In 2014, major electric upgrades were completed in anticipation of the forthcoming mechanical upgrades.

On August 22, 2018, the City Council awarded a construction contract to PCL Construction for mechanical upgrades, which include construction of a new underground emergency overflow storage structure and replacing the existing wet-well, pumps, piping and other supplementary mechanical equipment. This is the second and final phase of major upgrades to the aging pump station. The City Council also approved a Professional Service Agreement (PSA) for construction management services with Valley Construction Management (Valley CM) and a second PSA for construction support services with the engineer of record.

This item is before the City Council to provide a construction update and to seek Council approval for additional work by the contractor and consultants.

COUNCIL ACTION:

DISCUSSION:

To date, PCL Construction has constructed the emergency overflow structure and secondary low-flow wet-well. This includes installing the dewatering system and sheet pile shoring, and excavating for the underground structures. Construction is approximately 52% complete. Construction progress photos will be presented to Council. Upcoming work includes constructing the diversion structure and primary wet-well, and replacing existing pumps and piping. New low-flow pumps will be added to the secondary wet-well, along with associated electrical equipment. The easterly wall of the existing pump station will be removed and replaced to facilitate construction of the primary wet-well.

Changes to the construction scope has occurred and the contractor is requesting a change order to adjust the contract amount. The following is a summary of construction changes to date:

1. Water Service Replacement: The plans specified replacement of a water service line that originates at a water meter on Seabright Lane and passes between existing homes, down a slope above the lagoon and along the dirt access road to the pump station. To avoid disruption to existing residents, the portion through the resident's backyard was not replaced, thus a credit of \$7,169 will be applied.
2. Existing Footing Demolition: The existing southerly perimeter wall that was to be removed to construct the emergency storage structure was constructed on a massive concrete block, built around the existing sewer pipeline. In an effort to avoid damaging the old and fragile sewer pipeline, the contractor was directed to use manual work in lieu of using heavy and more intrusive machinery. The labor, equipment and material associated with the changed approach was tracked to cost \$4,488.
3. Dewatering and Discharge Permit: To construct the below ground emergency overflow storage structures, the contractor was required to install dewatering wells to extract and lower the groundwater. The original design was to discharge into the lagoon. When the construction contract was awarded by the City Council, the State Regional Water Quality Control Board (RWQCB) discharge permit was in review. The contractor's bid listed \$300,000 for groundwater dewatering, treatment and disposal. Upon receiving the permit, the groundwater treatment parameters required by the RWQCB permit were significantly more costly than the allocated amount under the approved contract. The contractor estimated an additional \$1,000,000 for filtration to meet the RWQCB permit requirements. The project team explored alternative discharge methods and determined that discharging directly to the ocean, not the lagoon, was significantly less costly, primarily due to different treatment requirements. The RWQCB permit was amended to filter and discharge the groundwater into the storm drain at the train station parking lot, which ultimately discharges to the low flow

diverter at Fletcher Cove. The contractor mobilized a pumping system and corresponding 4-inch piping layout along the railroad tracks in NCTD's right-of-way after obtaining a right-of-way permit from NCTD. The change in dewatering has had the following cost impacts:

- a. Dewatering System: The cost of the dewatering into the storm drain system will be substantially lower than discharging into the lagoon. The construction manager is monitoring the costs and the final cost will be calculated after the dewatering system is no longer needed and removed.
 - b. Delay and Extended Overhead Cost: In anticipation of the RWQCB permit, the City issued a notice to proceed and the contractor mobilized and began work. The delay to the contractor in receiving an amended RWQCB permit caused the contractor to extend their on-site supervision, temporary site facilities and shoring rental. The City, construction manager, and contractor negotiated an equitable compensation of 10-working days for an additional cost of \$38,303.
4. Subgrade Stabilization: The excavated subgrade was found to be liquefied sand and could not be stabilized per the geotechnical report recommendations. The construction phase geotechnical engineer, sub-consultant to the construction manager, recommended a stabilization technique that was used. The construction manager and geotechnical engineer monitored the work and the contractor requested to be compensated for the stabilization changes and extended on-site supervision costs, temporary site facilities and shoring rental. The City, construction manager and contractor negotiated an equitable compensation of \$104,169.
 5. Trunk Sewer Replacement: Two 18-inch diameter sewer pipes flow into the pump station. One of the pipelines was replaced in 2006. The other pipeline, according to record plans, was installed in 1971. The older pipeline is a fiberglass pipe that was found to be brittle with cracks. City Staff directed the contractor to remove and replace the older pipeline within the pump station compound (approximately 80-feet) as replacing the pipeline after the pump station upgrades will be cost prohibitive. Replacing the pipeline requires temporary bypassing of the sewage to the newer pipeline. The contractor is performing this work on a time and material basis. The Engineer of Work, Staff and the contractor estimate the sewer pipeline replacement will be approximately \$89,275. This work will be closely monitored by the construction manager and the final cost will be reported in the future.
 6. Emergency Pump System: At the request of the SEJPA, the contractor rented and installed an emergency backup pump due to limited access with the sheet pile shoring. The rental is for two months at an additional cost of \$22,050.
 7. Dewatering Testing Credit: To improve accuracy of test results and compliance with the RWQCB permit, the design engineer (Dudek) is performing the sampling and testing. Contractor to provide a credit of \$3,560.

The total cost of the above changes is \$247,556, pending final accounting of time and material tracked work. At contract award, City Council authorized a \$600,000 contingency. Staff is requesting City Council approval to execute a change order with PCL Construction for the above items.

In addition to the changed scope of work, the construction support consultants are requesting additional fees. Dudek, the design engineer, has been providing the water quality sampling and reporting required by the RWQCB permit. However, Dudek's original construction support services did not include this since the permit was obtained later. Dudek is requesting an additional fee of \$46,756 to add to their original scope of \$146,306.

The construction manager, Valley CM, has requested an increase for their services, along with their geotechnical and environmental sub-consultants. Valley CM is anticipating an additional four months of construction management services in the amount of \$65,250. The geotechnical sub-consultant has requested additional fees of \$16,950 for the unanticipated subgrade preparation changes. The biological sub-consultant is requesting additional fees of \$24,035 for biological and avian monitoring, which was not known prior to receiving the Coastal Development Permit. The total increase to Valley CM contract would be \$106,235.

FISCAL IMPACT

City Council approved the following amounts per Resolution 2018-110:

Table 1: Estimate Construction Costs

PCL Construction (base contract)	\$ 4,297,603
Contingency for unanticipated changes	600,000
Valley Construction Management	250,000
Dudek (design support services)	145,306
Total Estimated Construction Costs	\$5,392,909

Staff is requesting that the City Council authorize a portion of the \$600,000 contingency be used for the following:

Table 2: Additional Costs

PCL Construction – Change Order 1	\$ 247,556
Valley Construction Management	106,235
Dudek (design support services)	46,756
Total Added Costs	\$400,547

A contingency in the amount of \$199,453 would remain.

WORK PLAN:

The Solana Beach Pump Station is consistent with Item B.1 of the Environmental Sustainability/Capital Project section of the FY 2019/2020 Work Plan.

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments / modifications.
- Provide direction.

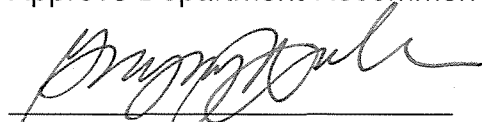
DEPARTMENT RECOMMENDATION:

Staff recommends the City Council consider adoption of Resolution No. 2019-126:

1. Authorizing the City Manager to execute a change order with PCL Construction in the amount of \$247,556.
2. Authorizing the City Manager to execute an amendment to the Professional Services Agreement with Valley Construction Management in the amount of \$106,235.
3. Authorizing the City Manager to execute an amendment to the Professional Services Agreement with Dudek in the amount of \$46,756.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2019-126

RESOLUTION NO. 2019-126

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING ADDITIONAL CONSTRUCTION COSTS AND CONSTRUCTION SUPPORT SERVICES FOR THE SOLANA BEACH PUMP STATION PROJECT

WHEREAS, the Capital Improvement Program portion of the Fiscal Year (FY) 2018/19 Adopted Budget appropriated funding for the Solana Beach Sewer Pump Station project for recommended upgrades and replacements, including construction of a new underground emergency overflow storage structure and replacing the existing wet-well, pumps, piping and other supplementary mechanical equipment; and

WHEREAS, on August 22, 2018, the City Council awarded a construction contract to PCL Construction for the mechanical upgrades, and approved a Professional Service Agreement (PSA) for construction management services with Valley Construction Management and a second PSA for construction support services with the engineer of record, Dudek; and

WHEREAS, the City Council approved \$600,000 in construction contingency for unanticipated changes and unforeseen conditions; and

WHEREAS, the construction project has encountered unanticipated changes and unforeseen conditions that increased the contractor's scope of work and requires additional construction support services.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a change order with PCL Construction in the amount of \$247,553.
3. That the City Council authorizes the City Manager to execute an amendment to the Professional Services Agreement with Valley Construction Management in the amount of \$106,235.

4. That the City Council authorizes the City Manager to execute an amendment to the Professional Services Agreement with Dudek in the amount of \$46,756.

PASSED AND ADOPTED this 25th day of September 2019, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: City Manager's Office
SUBJECT: **Adopt (2nd Reading) Ordinance No. 504 – Amending Title 5 of the Solana Beach Municipal Code Regarding Regulation of Food Service Ware, Polystyrene and Plastic Bottles in Furtherance of Protecting the Environment and Reducing Single-Use Plastics and Waste**

BACKGROUND:

On August 28, 2019, the City Council introduced Ordinance 504 amending Title 5 of the Solana Beach Municipal Code to regulate single-use food service ware, polystyrene foam products and plastic bottles.

This ordinance continues the City's efforts to protect the environment and would expand the City's existing polystyrene ban to include additional restrictions on the use and distribution of single-use plastic food service ware items and to disallow polystyrene items on the City's beaches. This ordinance would also add an additional chapter to the Solana Beach Municipal Code ("SBMC") regulating the use and distribution of plastic bottles and packaged water at City facilities or at events on City property.

This item is before City Council to consider adopting (2nd Reading) Ordinance 504 amending Title 5 of the Solana Beach Municipal Code regarding the regulation of food service ware, polystyrene foam and plastic bottles (Ordinance).

DISCUSSION:

In 2018, per Council's direction, the Climate Action Commission (CAC) held several public meetings to discuss how the City might implement measures within the City to minimize plastic pollution. The commissioners researched measures already implemented in other

COUNCIL ACTION:

California jurisdictions and compiled and summarized what they deemed as best practices that were presented to Council at a public meeting on November 13, 2018.

Council received the recommended measures and directed Staff to conduct outreach in the community surrounding the measures before bringing a new ordinance back to Council for consideration.

A draft Ordinance was released prior to and subsequently reviewed at the July 17, 2019 CAC meeting. During this meeting, commission members stated that since making the original presentation to Council in November, there had been additional measures adopted by some communities that improve and add clarity to the items originally proposed.

During the 1st Reading at the Council meeting on August 28th, Council agreed to include those additional measures proposed by the CAC in the proposed ordinance. Council also agreed to incorporate feedback from the Grocers Association to synchronize the implementation dates for the sale of food service ware and the use of food service ware for prepared foods, so that grocery stores could make all necessary changes to their inventories in their stores at one time. The implementation date for complying with the prohibition on meat trays and egg cartons made from polystyrene foam was amended to include a date certain of November 1, 2021 (2 years from implementation) or upon the availability of curbside composting within the City, whichever is earlier.

Council also considered feedback from the Restaurant Association that the “only-upon-request” policy should include an “upon-offer” provision allowing food vendors to offer customers food service ware accessory items like utensils and condiments instead of just waiting for an unsolicited request for those items. Council determined this provision could be included in the case of drive-through restaurants.

Summary of Food Service Ware and Polystyrene Measures

A summary of the proposed measures incorporated into the first reading are as follows:

- Prohibition on the sale of food service ware by any establishment in the City if the food service ware is not recyclable or compostable or if it is made from polystyrene foam.
- Prohibition on the sale by any establishment in the City of single-use straws, utensils, stirrers, splash sticks, cocktail sticks or toothpicks made with plastic.
- Prohibition on the use of food service ware by food vendors for prepared food if the food service ware is not recyclable or compostable or if it is made from polystyrene foam.
- Prohibition on the use of single-use straws, utensils, stirrers, splash sticks, cocktail sticks or toothpicks made with plastic when serving prepared food.
- Requirement that food vendors distribute common single-use food accessory items like utensils, stirrers, and straws only upon request by the customer.
 - If straws, utensils, stirrers, splash sticks, cocktail sticks or toothpicks are distributed, they cannot be plastic.

- All other food service ware accessories must be made from a material that is recyclable or compostable.
- At a drive-through restaurant, the food vendor may offer the customer food service ware accessories prior to the customer's request.
- Expanded polystyrene prohibitions including the prohibition on the sale of polystyrene products which are not encased in a harder plastic like foam coolers and beach toys in any retail establishment within the City and the prohibition of these items on City beaches.
- Provision allowing customers to bring and use their own reusable cups at any food establishment in the City.

Summary of Plastic Bottles and Packaged Water Measures

Regarding restrictions on plastic bottles and packaged water on City property and at City events, Council decided to accept what was called "Version 2" in the draft Ordinance that included prohibitions on packaged water and all plastic bottles sized 1 liter or less not just prohibitions on plastic water bottles (Version 1). Council agreed that the prohibitions on packaged water should not apply to water in glass bottles or aluminum cans.

Council considered a request from the CAC to include a provision in the Ordinance expressing a commitment from the City to increase the availability of free drinking water on public property. Instead of including such a commitment within the Ordinance itself, Council decided to express this commitment separately through a Council policy.

The food service ware measures outlined above apply to businesses in Solana Beach and to the City's operations and events happening on City property. Chapter 5.05 of the proposed Ordinance only applies to events on City property or City-sponsored events. The measures state that sale and distribution of packaged water at any City facility is prohibited. Packaged water includes water in plastic bottles, boxes or bags, but the prohibitions shall not apply to water in aluminum cans or glass bottles.

The measures also state that the sale and distribution of any beverage in a plastic bottle that is one liter in size or less is prohibited on City property.

Implementation of the Restrictions

As reflected in the Ordinance language, implementation of these regulations would be incremental to allow businesses time to find suitable substitutes and use up any current inventory of non-compliant items. Some provisions will be effective immediately, others after six months, and others one or two years after implementation.

In all cases, the Ordinance allows for exceptions to the provisions in the case of health and safety or for a waiver by the City Manager if there is no feasible alternative to a non-compliant item.

The proposed amendments to the Solana Beach Municipal Code are consistent with the City's CAP. They have been discussed and recommended by the CAC. The proposed

regulations are also similar to those adopted in other communities in the state, which have been implemented with the support of environmental protection organizations and the general public.

CEQA COMPLIANCE STATEMENT:

The proposed Ordinance is exempt from the provisions of the California Environmental Quality Act ("CEQA") pursuant to Section 15308 of the CEQA Guidelines because it is an activity undertaken "to assure the maintenance, restoration, enhancement and protection of the environment" and pursuant to Section 15061(b)(3) because there is no possibility that the activity in question may have a significant effect on the environment.

FISCAL IMPACT:

There will be minimal fiscal impact as a result of this item due to changes in City purchasing policies. Current staff time and resources will be required for education and enforcement.

WORK PLAN:

Environmental Sustainability Section A-4: Plastic Use Restrictions

OPTIONS:


- Adopt Ordinance 504 amending SBMC Title 5 to expand the ban on polystyrene products to address single-use plastics and plastic bottles on City property.
- Do not adopt Ordinance 504.
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council adopt Ordinance 504 amending SBMC Title 5 to expand the ban on polystyrene products to address single-use plastics and plastic bottles on City property.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Ordinance 504

ORDINANCE NO. 504

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AMENDING TITLE 5 OF THE SOLANA BEACH MUNICIPAL CODE REGARDING REGULATION OF FOOD SERVICE WARE, POLYSTYRENE AND PLASTIC BOTTLED BEVERAGES IN FURTHERANCE OF PROTECTING THE ENVIRONMENT AND REDUCING SINGLE-USE PLASTICS AND WASTE

WHEREAS, the City of Solana Beach has engaged in ongoing efforts to reduce or limit products that are harmful to the environment; and

WHEREAS, the City of Solana Beach has a long history of environmental stewardship and planning for a sustainable future; and

WHEREAS, this Ordinance aims to support the City of Solana Beach's Climate Action Plan since single-use plastics contribute to greenhouse gas (GHG) emissions via materials extraction, product production and waste disposal and without action, global production is projected to triple and GHG emissions from plastics would reach fifteen percent (15%) of the global carbon budget by 2050; and

WHEREAS, the purpose of this Ordinance is to encourage the use of ocean-friendly products that do not have a detrimental effect on the natural environment or character of the community; and

WHEREAS, plastics break down into ever smaller pieces through photo-, physical, and biological degradation processes, and these smaller pieces persist in the environment for hundreds of years and can enter the food chain when animals ingest the pieces believing they are food. Harmful chemicals associated with plastics can also leach into soils and water; and

WHEREAS, a study by the University of Exeter and Plymouth Marine Laboratory in the United Kingdom found plastics in the gut of every single sea turtle examined and in ninety percent (90%) of seabirds. Additionally, plastic negatively affects marine ecosystems and wildlife, as demonstrated by countless seabirds, turtles, and marine life including, but not limited to, whales and dolphins, which have died from plastic ingestion and entanglement; and

WHEREAS, polystyrene is particularly harmful to the environment because it is frequently used for single-use purposes. A website by Californians Against Waste estimates that 377,579 tons of expanded polystyrene are produced in California and that 154,808 tons of that type of polystyrene are made specifically for food service packaging that ends up in the landfill. Either these products are immediately disposed of after a

single use, or they are dispersed into the environment either intentionally or accidentally from being blown by the wind or falling out of trash receptacles, for example; and

WHEREAS, approximately eighty percent (80%) of all refuse that ends up in the oceans comes from the land; and

WHEREAS, refuse found and collected along San Diego County coasts is primarily comprised of plastics. San Diego Coastkeeper reports that in 2018, fifty-three percent (53%) of debris collected was plastic. Many of the plastics collected were pieces less than one inch in diameter, and much of it was polystyrene foam; and

WHEREAS, the U.S. Department of Health and Human Services' 13th Report on Carcinogens concludes that styrene "is reasonably anticipated to be a human carcinogen" and human exposure to plastic and its associated toxins has also been linked to birth defects, impaired immunity, endocrine disruption and other serious health problems; and

WHEREAS, there are few facilities in the State of California that recycle polystyrene or are able to do so only if there is a demand and the product is wiped clean of all food debris; and

WHEREAS, one million plastic bottles are bought every minute and beverage bottles are one of the most common types of plastic waste. In 2016, fewer than half of the bottles bought were collected for recycling and just seven percent (7%) of those collected were turned into new bottles. Most ended up in a landfill or in the ocean instead; and

WHEREAS, many local environmental groups are encouraging local government to limit or ban the use of polystyrene and single-use plastics in their jurisdictions; and

WHEREAS, the California Coastal Commission has developed "A Plan of Action from The Plastic Debris Project" in 2006, which was funded by the State Water Resources Control Board, and that Plan recommends that local government impose limits, bans, and prohibitions on materials that more commonly become litter and marine debris; and

WHEREAS, both houses of the California State Legislature have acknowledged the worldwide environmental devastation and health problems wrought by plastic and non-recycled trash and are considering Senate Bill 54 and Assembly Bill 1080, together known as the California Circular Economy and Plastic Pollution Reduction Act in an attempt to dramatically reduce plastic and packaging waste and jump start the in-state clean recycling economy; and

WHEREAS, the California Circular Economy and Plastic Pollution Reduction Act sets a goal of an overall reduction of single-use plastic containers by seventy-five percent (75%) by the year 2030; and

WHEREAS, the City Council finds that because the City of Solana Beach is a coastal community, the City has the opportunity to reduce the amount of plastics that end up in the ocean and has its police powers to assist with that goal; and

WHEREAS, the City Council finds that regulating the use and sale of polystyrene, grocery bags, bottled beverages and other single-use disposable items within the City will reduce the amount of plastics that enter the environment and the ocean; and

WHEREAS, the regulation of single-use disposable items within the City is an action that reduces the amount of anthropogenic debris that ends up on the beach; and

WHEREAS, the City of Solana Beach previously took action in 2012 and 2015 to prohibit single-use carry-out bags and food providers from dispensing prepared food to customers in disposable food service ware made from expanded polystyrene or non-recyclable plastic; and

WHEREAS, this Ordinance amends Title 5 of the Solana Beach Municipal Code to provide for expanded prohibitions on the use and distribution of single-use materials that pollute the environment and ocean.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does ordain as follows:

Section 1. All of the above statements are true; and

Section 2. Chapter 5.03 of the Solana Beach Municipal Code is hereby amended to read as follows (the ~~strikethrough~~ text represents deleted language and the underlined text represents new language):

Chapter 5.03

~~FOOD SERVICE CONTAINERS AND PACKAGING MATERIALS~~

~~5.03.010-Definitions.~~

~~A. "Biodegradable" refers to the ability of a material to decompose into elements normally found in nature within a reasonably short period of time after disposal.~~

~~B. "City facilities" refers to buildings and structures owned or leased by the city of Solana Beach.~~

~~C. "City-sponsored event" means any event, activity or meeting organized or sponsored, in whole or in part, by the city or any department of the city.~~

~~D. "Disposable food service container" means single-use disposable products used in the restaurant and food service industry for serving or transporting prepared, ready-to-consume food or beverages. This includes but is not limited to~~

~~plates, cups, bowls, trays and hinged or lidded containers. This does not include single-use disposable items such as straws, cup lids, or utensils, nor does it include single-use disposable packaging for unprepared foods.~~

~~E. "Expanded polystyrene" (EPS) means polystyrene that has been expanded or "blown" using a gaseous blowing agent into a solid foam.~~

~~F. "Food provider" means any person or establishment that provides or sells prepared food within the city to the general public to be consumed on the premises or for take-away consumption. Food provider includes but is not limited to (1) a grocery store, supermarket, delicatessen, restaurant, drive-thru, café, cafeteria, coffee shop, snack shop, public food market, farmers' market, convenience store, or similar fixed place where prepared food is available for sale on the premises or for take-away consumption; and (2) any mobile store, food vendor, caterer, food truck, vending machine or similar mobile outlet. Food provider also includes any organization, group or individual that regularly provides prepared food to its members or the general public as a part of its activities or services.~~

~~G. "Non-recyclable plastic" refers to any plastic which cannot be feasibly recycled by a municipal recycling program in the state of California, including polystyrene and expanded polystyrene.~~

~~H. "Polystyrene" means and includes expanded polystyrene which is a thermoplastic petrochemical material utilizing a styrene monomer and processed by any number of techniques including, but not limited to, fusion of polymer spheres (expandable bead polystyrene), injection molding, form molding, and extrusion-blow molding (extruded foam polystyrene). The term "polystyrene" also includes clear or solid polystyrene which is known as "oriented polystyrene."~~

~~I. "Prepared food" means any food or beverage that is (1) ready to consume without any further food preparation, alteration or repackaging; and (2) prepared, provided, sold or served by a food provider using any cooking, packaging or food preparation technique. Prepared food may be eaten either on or off the food provider's premises. For purposes of this chapter, prepared food does not include (1) any raw uncooked meat, poultry, fish or eggs, unless provided for consumption without further food preparation, and (2) fresh produce provided for consumption without food preparation or repackaging, including fruits, vegetables, and herbs, sold by grocery stores, supermarkets, food markets, farmers' markets and other food vendors.~~

~~J. "Recyclable plastic" means any plastic which can be feasibly recycled by a municipal recycling program in the state of California.~~

~~K. "Restaurant" means any person or establishment doing business within the city of Solana Beach that provides prepared food or beverages for consumption on or~~

~~off its premises such as a restaurant, cafe, bakery, grocery or convenience store food counter or delicatessen, or catering truck vehicle.~~

~~5.03.020 Prohibition on the use of non-recyclable plastic disposable food service containers.~~

~~A. Except as provided in SBMC 5.03.030, food providers are prohibited from dispensing prepared food to customers in disposable food service containers made from expanded polystyrene.~~

~~B. Except as provided in SBMC 5.03.030, food providers are prohibited from dispensing prepared food to customers in disposable food service containers made from non-recyclable plastic.~~

~~C. All city facilities, city-managed concessions, city-sponsored events, and city-permitted events are prohibited from using disposable food service containers made from expanded polystyrene or non-recyclable plastic. (Ord. 466 § 2, 2015)~~

~~5.03.025 Prohibition on expanded polystyrene packaging materials.~~

~~No business or vendor in the city of Solana Beach shall use expanded polystyrene loose-fill packaging and cushioning material, such as foam peanuts, packing peanuts, foam popcorn or packing noodles, in the packaging of products, equipment or other items. (Ord. 466 § 2, 2015)~~

~~5.03.030 Exemptions.~~

~~A. Automatic Exemptions. The following uses are exempt from the provisions of this chapter:~~

~~1. Prepared foods prepared or packaged outside the city of Solana Beach. Purveyors of food prepared or packaged outside the city of Solana Beach are encouraged to follow the provisions of this section.~~

~~2. Products, equipment, or other items prepared or packaged outside the city of Solana Beach.~~

~~3. Polystyrene coolers and ice chests or other food containers intended for reuse.~~

~~B. Undue Hardship. The city manager, or his/her designee, may exempt a food provider from the requirements of this chapter for a one-year period, upon showing by the food provider that the conditions of this chapter would cause undue hardship.~~

~~1. An "undue hardship" shall be found in:~~

~~a. Situations unique to the food provider where there are no reasonable alternatives to expanded polystyrene or non-recyclable plastic disposable food service containers and compliance with this chapter would cause significant economic hardship to that food provider;~~

~~b. Situations where no reasonably feasible available alternatives exist to a specific and necessary expanded polystyrene or non-recyclable plastic disposable food service container.~~

~~2. A food provider granted an exemption by the city must reapply prior to the end of the one-year exemption period and demonstrate continued undue hardship, if it wishes to have the exemption extended. Extensions may only be granted for intervals not to exceed one year.~~

~~3. An exemption application shall include all information necessary for the city to make its decision, including but not limited to documentation showing the factual support for the claimed exemption. The city manager may require the applicant to provide additional information to permit the city manager to determine facts regarding the exemption application.~~

~~4. The city manager may approve the exemption application, in whole or in part, with or without conditions.~~

~~5. Exemption decisions are effective immediately and final and are not appealable.~~

~~6. The city council may by resolution establish a fee for exemption applications. The application fee shall be an amount sufficient to cover the costs of processing the exemption application.~~

~~5.03.040 Enforcement and remedies.~~

~~A. The city manager, or his or her designee, is authorized to establish regulations and to take any and all actions reasonable and necessary to obtain compliance with this chapter, including, but not limited to, inspecting any food provider's premises to verify compliance.~~

~~B. Any person violating this section shall be guilty of an infraction, which shall be punishable by a fine not exceeding \$250.00, or a misdemeanor, which shall be punishable by a fine not exceeding \$1,000, or by imprisonment in the county jail for a period not exceeding six months or by both such fine and imprisonment.~~

~~C. The city attorney may seek legal, injunctive, or other equitable relief to enforce this chapter.~~

~~D. Administrative enforcement of this chapter shall proceed pursuant to Chapter 1.18 SBMC.~~

~~E. Each violation of this chapter shall be considered a separate offense.~~

~~F. The remedies and penalties provided in this section are cumulative and not exclusive, and nothing in this chapter shall preclude any person from pursuing any other remedies provided by law.~~

~~G. Notwithstanding any other provision of this chapter, this chapter may be enforced through any remedy as provided for in this section upon its effective date.~~

~~5.03.050 Operative dates.~~

~~A. This chapter shall become operative as to all food providers, businesses and vendors six months after adoption by the city council.~~

~~B. Within 30 days after its adoption, this chapter shall become effective for the city such that no city facilities, city-managed concessions, city-sponsored events or city-permitted events shall distribute or utilize disposable food service containers containing expanded polystyrene or non-recyclable plastic.~~

FOOD SERVICE WARE, POLYSTYRENE, AND PLASTIC BOTTLE RESTRICTIONS

5.03.010. Purpose.

The City of Solana Beach is a coastal community which strives to protect and improve the environment in many ways. Refuse found and collected along San Diego County coasts is primarily comprised of plastics. Regulating the use of single-use disposable items within the City will reduce the amount of plastics that enter the environment and the ocean. With the implementation of this Chapter, the City has the opportunity to reduce the amount of plastics that end up in the ocean. The goal is to eventually eliminate single-use products that are not recyclable or compostable within the City and reduce the use of single-use products in general. To that end, residents, visitors, and businesses in the City are encouraged to minimize the use and distribution of single-use plastic products and unnecessary plastic product packaging.

5.03.020. Definitions.

For purposes of this chapter, the following terms shall have the following meanings:

- A. “Beverage provider” means any person, business, commercial business, organization, entity, group, or individual located in the city of Solana Beach that offers liquid, slurry, frozen, semi-frozen, or other forms of beverages to the public for consumption.

- B. “City facility” means any building, structure, park or vehicle owned or leased and operated by the city of Solana Beach.
- C. “City facility food provider” means a person that provides, but does not sell, prepared food at any city facility.
- D. “City manager” means the city manager and/or designees.
- E. “City-sponsored event” means any event organized or sponsored by the city of Solana Beach or any department of the city of Solana Beach.
- F. “Commercial business” means all non-residential facilities engaged in business or commerce, whether for profit or not-for-profit, or publicly or privately owned.
- G. “Compostable” means material:
 - 1. made solely of organic substances that break down into a stable product due to the action of bacteria in a controlled, aerobic commercial process that results in a material safe and desirable as a soil amendment. Compostable food service ware must be found to degrade satisfactorily at the composting facility receiving the material. Compostable food service ware must be separable from solid waste by the generator or during collection for the purpose of composting as determined by the City’s waste hauler; or
 - 2. that is made of non-plastic plant material that will biodegrade in the environment (including bagasse/sugarcane pulp, palm leaf, wheat straw fiber, bamboo, wood, rye wheat, silver grass (miscanthus fiber), or paper that is either unlined or lined with a non-plastic material such as wax or clay).
- H. “Customer” means any person obtaining food or beverages from a restaurant or retail food vendor.
- I. “Disposable Cup” means a cup or other container designed for single use to serve beverages, such as water, cold drinks, hot drinks and alcoholic beverages.
- J. “Distribute” means the sale, offer for sale, or other transfer of possession of an item for compensation or for free, either as a separate transaction or as part of the sale, offer for sale, or other transfer of possession of another item.
- K. “Egg carton” means a carton commonly used to package eggs sold or distributed to consumers.

- L. "Event" means any gathering held on city property, including a city street, and subject to a city permit, where more than 30 people attend or participate.
- M. "Event food vendor" means any business selling or providing, based on ticket purchase or entrance fee, prepared food at an event.
- N. "Event producer" means a person or entity who contracts with or obtains a permit from the city, or an agent acting on the city's behalf, to hold its own event, or a city entity or department holding its own event.
- O. "Food service ware" means all containers, bowls, plates, cups, and other like items that are designed for one-time use for prepared foods, including, without limitation, service containers for takeout foods and/or leftovers from partially consumed meals prepared by food vendors. The term "food service ware" includes "food service ware accessories" and does not include items composed entirely of aluminum, or of metal foil or metal foil-faced papers used to wrap hot foods; or polystyrene foam coolers or ice chests.
- P. "Food service ware accessory" means all types of single-use items usually provided alongside prepared food in single-use plates, bowls or cups, including but not limited to utensils, chopsticks, napkins, cup lids, cup sleeves, food or beverage trays, condiment packets and saucers, ramekins, straws, stirrers, splash sticks, cocktail sticks, and toothpicks, designed for a single use for prepared foods.
- Q. "Food vendor" means any restaurant, retail food vendor, event food vendor, or any business or commercial business that accepts orders on behalf of and delivers meals from a food vendor, located or operating within the city.
- R. "Meat and fish tray" means any tray for raw meat, fish, or poultry sold to consumers from a refrigerator case or similar retail appliance.
- S. "Packing material" means material used to hold, cushion, or protect items packed in a container for shipping, transport, or storage.
- T. "Person" means any natural person, firm, corporation, partnership, or other organization or group however organized.
- U. "Polystyrene foam" means blown polystyrene and expanded and extruded foams which are thermoplastic petrochemical materials utilizing a styrene monomer and processed by any number of techniques including, but not limited to, fusion polymer spheres (expanded bead polystyrene), injection molding, foam-molding, and extrusion-blown molding (extruded foam polystyrene). Polystyrene foam is generally used to make cups, bowls, plates, trays, clamshell containers, meat trays, and egg cartons.

- V. “Prepared food” means food or beverages which are prepared and served on the food vendor’s premises or within the city of Solana Beach by packaging, cooking, chopping, slicing, mixing, brewing, freezing or squeezing. Prepared food does not include any raw eggs or raw, butchered meats, fish or poultry sold from a butcher case, a refrigerator case, or similar retail appliance. Prepared food may be eaten either on or off the premises without further cooking.
- W. “Recyclable” means material that can be sorted, cleansed, and reconstituted using the city’s available curbside collection programs for the purpose of reuse or remanufacture into the same or other products. “Recycling” does not include burning, incinerating, converting, or otherwise thermally destroying solid waste.
- X. “Restaurant” means any establishment located within the city that sells or distributes prepared food for consumption on, near, or off its premises. The term includes a restaurant operating from a temporary facility, cart, vehicle, or mobile unit.
- Y. “Retail food vendor” or “vendor” means any store, shop, sales outlet or other establishment, including a grocery store, bar, theatre or delicatessen, located within the city of Solana Beach, which provides prepared food.
- Z. “Reusable Cup” means a cup or container for a beverage, that is manufactured of durable materials and that is specifically designed and manufactured to be washed and sanitized and to be used repeatedly over an extended period of time, and is safe for washing and sanitizing according to applicable regulations.
- AA. “Single use” means designed to be used once and discarded, and not designed for repeated use and sanitizing.

5.03.030. Sale or distribution of non-compliant food service ware prohibited.

- A. Effective November 1, 2020 no person may sell, offer for sale, or otherwise distribute within the city:
1. Any food service ware that is made, in whole or in part, from polystyrene foam; or
 2. Any food service ware that is not compostable or recyclable; or
 3. Any single-use beverage straws, utensils, stirrers, splash sticks, cocktail sticks, or toothpicks made with plastic.

5.03.040. Use of non-compliant food service ware prohibited.

- A. Effective November 1, 2020 food vendors may not sell, offer for sale, or otherwise distribute prepared food using food service ware:
 - 1. If the food service ware is made, in whole or in part, from polystyrene foam; or
 - 2. If the food service ware is not compostable or recyclable; or
 - 3. Any single-use beverage straws, utensils, stirrers, splash sticks, cocktail sticks, or toothpicks made with plastic.

- B. City facility food providers may not use food service ware to provide prepared food to city facilities:
 - 1. If the food service ware is made, in whole or in part, from polystyrene foam; or
 - 2. If the food service ware is not compostable or recyclable; or
 - 3. Any single-use beverage straws, utensils, stirrers, splash sticks, cocktail sticks, or toothpicks made with plastic.

- C. City departments may not purchase, acquire, or use food service ware for prepared food:
 - 1. If the food service ware is made, in whole or in part, from polystyrene foam; or
 - 2. If the food service ware is not compostable or recyclable; or
 - 3. Any single-use beverage straws, utensils, stirrers, splash sticks, cocktail sticks, or toothpicks made with plastic.

- D. City contractors, lessees and permittees may not use or distribute food service ware for prepared food in city facilities or while performing under a city contract or lease:
 - 1. If the food service ware is made, in whole or in part, from polystyrene foam; or
 - 2. If the food service ware is not compostable or recyclable; or
 - 3. Any single-use beverage straws, utensils, stirrers, splash sticks, cocktail sticks, or toothpicks made with plastic.

- E. The use or distribution of non-compliant food service ware at special events sponsored or co-sponsored by the city of Solana Beach shall be prohibited. This prohibition shall apply to the event organizers, agents of the event organizers, event food vendors and any other party (including non-profit organizations) who enter into an agreement with one or more of the co-sponsors of the event to sell or distribute prepared food at the event or otherwise provide an event related service.
- F. All facilities rental agreements for any city owned property or facility shall include a provision requiring contracting parties to assume responsibility for preventing the utilization and/or distribution of non-compliant food service ware. The facility rental agreement shall provide that the violating contractor's security deposit will be forfeited if the city manager determines that non-compliant food service ware was utilized in the violation of the rental agreement.
- G. It shall not be a violation of this section to sell, distribute, provide or purchase prepared food packaged in food service ware otherwise prohibited by subsections A through E if the prepared food is packaged outside the city and is sold or otherwise provided to the consumer in the same food service ware in which it is originally packaged. Businesses packaging prepared food outside the city are encouraged to use food service ware that is compostable or recyclable and that is not made, in whole or in part, from polystyrene.

5.03.050. Other food service ware accessory use provisions.

- A. Effective November 1, 2020 food service ware accessory items shall be provided by a food vendor only upon request by the customer or at self-serve stations, except that for safety reasons disposable cups for delivery by a food vendor or food delivery service may include lids, spill plugs and sleeves without request.
- B. All food service ware accessory items that are distributed must comply with the provisions outlined in Section 5.03.040.
- C. Only at a drive-through facility, a food vendor may offer the customer food service ware accessory items prior to the customer request, but shall only provide food service ware accessory items in the quantities specified by the customer.
- D. Food vendors offering condiments are encouraged to use dispensers rather than pre-packaged disposable condiment packets.
- E. Effective November 1, 2020 no person shall distribute plastic food service ware accessories at any city facility or city-sponsored event.

5.03.060. Polystyrene foam products.

- A. Effective May 1, 2020, no person may sell, offer for sale, or otherwise distribute within the city the following materials if they are made in whole or in part from polystyrene, unless they are wholly encapsulated or encased within a more durable material:
1. Packing materials, including shipping boxes and packing peanuts;
 2. Coolers, ice chests, or similar containers;
 3. Pool or beach toys; or
 4. Dock floats, mooring buoys, or anchor or navigational markers.
- B. Packing materials must be compostable or recyclable.
- C. No commercial business in the city shall use expanded polystyrene loose fill packaging and cushioning material, such as foam peanuts, packing peanuts, foam popcorn, or packing noodles, in the packaging of products, equipment or other items.
- D. Effective May 1, 2020, no polystyrene foam product listed in subsection A shall be allowed on any beach within the city.
- E. For purposes of subsection (A)(1), distribution of packing materials shall include using such materials to hold, cushion, or protect items to be packed in a container for shipping, transport, or storage, for compensation, where the packing takes place within the city. But it shall not include:
1. Receiving shipments within the city that include polystyrene foam, or some other non-compostable and non-recyclable product, used as packing material;
 2. Re-using packing materials for shipping, transport, or storage within the same distribution system, where the packing materials are not sent to a consumer or end user;
 3. Donating used packing materials to another person, where the donor receives nothing of value for the donated packing materials; or
 4. Using packing materials donated under subsection (D)(3) for shipping, transport, or storage, where the person using the packing materials receives nothing of value for the donated packing materials.

- F. Effective upon the availability of curbside composting within the city of Solana Beach or on November 1, 2021, whichever is earlier, no person may sell, offer for sale, or otherwise distribute for compensation within the city, meat and fish trays or egg cartons made, in whole or in part, from polystyrene foam, or that are not, compostable or recyclable, either as separate items or as part of the sale of raw meat, fish, poultry, or eggs sold to consumers from a refrigerator case or similar retail appliance.

5.03.070 - Reusable Customer Cups.

- A. Except as provided in Chapter 11. Temporary Food Facilities of the California Health and Safety Code, Section 114353, customers may provide their own reusable cups for beverage service in accordance with California State Health Code 114075(e) and as may be amended from time to time. Food vendors may refuse, at their sole discretion, any customer-provided reusable cup that is cracked, chipped or corroded, appears inappropriate in size, material, or condition for the intended beverage, or that appears to be excessively soiled or unsanitary, and instead require the use of:
1. a reusable Cup if typically available for a beverage consumed on the premises; or
 2. a disposable cup for a beverage to be consumed off the premises that complies with the provisions of Section 5.03.040.
- B. Event producers who provide beverages at events are encouraged to either make reusable cups available to their attendees, or make a strong effort to encourage the attendees to bring a reusable cup to the event.

5.03.080 Implementation.

- A. The city manager may waive the provisions of Sections 5.03.030., 5.03.040., 5.03.050., and 5.03.060. if:
1. The applicant demonstrates a feasibility based hardship. The person seeking the waiver must demonstrate to the city manager's satisfaction that no reasonably feasible alternative exists to a specific non-compliant product; or
 2. The applicant demonstrates compliance is unreasonably financially prohibitive. The person seeking the exemption must demonstrate to the city manager's satisfaction that with respect to each specific non-compliant product, there is no suitable and reasonably affordable alternative product available; or

3. The applicant demonstrates that strict application of the specific requirement would create an undue hardship, or practical difficulty, not generally applicable to other persons in similar circumstances, and good cause is shown.
- B. A person seeking a waiver under subsection A must submit a written application on a form approved by the city manager. The city manager may require the applicant to submit additional information or documentation to make a determination regarding the waiver requested. The city manager shall review requests for waivers on a case-by-case basis, and may grant the waiver in whole or in part, with or without conditions, for a period of up to twelve (12) months. An applicant for renewal of a waiver must apply for a new waiver period no later than sixty (60) days prior to the expiration of the then-current period to preserve a continuous waiver status. The city manager shall review each application anew and base his or her determination on the most current information available. Waiver determinations are effective immediately, final and not appealable. The city council may by resolution establish a fee for waiver determinations in an amount sufficient to cover the costs to administer the application.
- C. The city shall provide information about this chapter to new businesses and existing businesses during the business license application or business license renewal process.
- D. It shall not be a violation of this section to sell, provide, distribute, or use plastic food ware accessory items when:
 1. Needed by customers due to medical or physical conditions.
 2. The city manager determines that there is no reasonable alternative available.

5.03.090 Enforcement and penalties.

- A. The city manager, or designee, is authorized to establish regulations and to take any and all actions reasonable and necessary to obtain compliance with this chapter, including, but not limited to, inspecting the premises of any commercial business, retail food vendor, or restaurant to verify compliance.
- B. Any person violating this chapter shall be guilty of an infraction, which shall be punishable by a fine in accordance with Chapter 1.16 of the Solana Beach Municipal Code, or a misdemeanor, which shall be punishable by a fine not exceeding one thousand dollars, or by imprisonment in the County Jail for a period not exceeding six months or by both such fine and imprisonment. In addition to criminal fines, any person violating this chapter shall also be subject to civil penalties or administrative fines or both under Chapters 1.16 and 1.18 of the Solana Beach Municipal Code.

- C. The city attorney may seek legal, injunctive, or other equitable relief to enforce this chapter.
- D. Administrative enforcement of this chapter shall proceed pursuant to Chapter 1.18 of the Solana Beach Municipal Code.
- E. Each violation of this chapter shall be considered a separate offense.
- F. The remedies and penalties provided in this section are cumulative and not exclusive, and nothing in this chapter shall preclude any person from pursuing any other remedies provided by law.
- G. Notwithstanding any other provision of this chapter, this chapter may be enforced through any remedy as provided for in this section upon its effective date.

Section 3. Chapter 5.05 is added to the Solana Beach Municipal Code as follows:

CHAPTER 5.05 BOTTLED BEVERAGES AND PACKAGED WATER

5.05.010 Definitions

For purposes of this chapter, the following terms shall have the following meanings:

- A. “Bottled beverage” means drinking water, sparkling water, enhanced water, soda, sport drinks, juice, or other similar product in a rigid plastic bottle having a capacity of one liter or less, and intended primarily as a single-service container.
- B. “Bottled water” means drinking water in a sealed rigid plastic bottled having a capacity of one liter or less.
- C. “City facility” means any building, structure, park or vehicle owned or leased and operated by the city of Solana Beach.
- D. “City funds” means all monies or other assets received and managed by, or which are otherwise under the control of the Treasurer, and any notes, bonds, securities, certificates of indebtedness or other fiscal obligations issued by the city of Solana Beach.
- E. “City property” means real property, including any buildings thereon, owned or leased by the city of Solana Beach and in the city of Solana Beach’s possession or in the possession of a public or private entity under contract with the city of Solana Beach to perform a public purpose, including but not limited to public beaches and parks. “City property” includes a “city street.”

- F. “City street” means the public right-of-way owned by the city, including any area across, along, on, over, upon, and within the dedicated public alleys, boulevards, courts, lanes, roads, sidewalks, streets, and ways within the city.
- G. “Mineral water” means drinking water containing more than 500 milligrams per liter of total dissolved solids and/or one or more chemical constituents in excess of the concentrations listed in the Federal Bottled Water Quality Standards (Title 21 Code of Federal Regs., Sec. 165.110).
- H. “Packaged water” means drinking water in a sealed box, bag, rigid plastic bottle or other container intended primarily for single service use and having a capacity of one liter or less. This definition specifically excludes aluminum cans and glass bottles.
- I. “Participant athletic event” means an event in which a group of people collectively walk, jog, run, bicycle or otherwise participate in a sport or similar activity on city property.
- J. “Rigid plastic bottle” means any formed or molded container comprised predominantly of plastic resin, having a relatively inflexible fixed shape or form, having a neck that is smaller than the container body, and intended primarily as a single service container. “Rigid plastic bottle” includes compostable plastic bottles meeting these criteria.
- K. “Water” includes: natural spring or well water; water taken from municipal or private utility systems or other sources; distilled, deionized, filtered, or other purified water; or any of the foregoing to which chemicals may be added. “Water” does not include: mineral water; carbonated or sparkling water; soda, seltzer, or tonic water; or flavored water, also marketed as fitness water, vitamin water, enhanced water, energy water, or other similar products. “Water” does not include those food ingredients that are listed in ingredient labeling as “water,” “carbonated water,” “disinfected water,” or “filtered water.”

5.05.020 Packaged Water at City Events and on City Property

- A. The sale and distribution of packaged water at any city facility, including events held through rentals or leases, is prohibited.
- B. The sale and distribution of packaged water at any event held on city property, including a city street, and including events held through rentals or leases, is prohibited.
- C. All new, renewed, and amended leases, permits or other agreements awarded by the city allowing any person to use city property or operate a mobile food facility shall require compliance with the prohibition.

- D. The above subsections A, B and C of this Section 5.05.020 shall go into effect May 1, 2020.
- E. The above subsections A, B and C of this Section 5.05.020 shall not apply to restrict the sale and distribution of water in aluminum cans or glass bottles.

5.05.030 Bottled Beverages at City Events and on City Property

- A. The sale and distribution of bottled beverages at any city facility, including events held through rentals or leases, is prohibited.
- B. The sale and distribution of bottled beverages at any event held on city property, including a city street, and including events held through rentals or leases, is prohibited.
- C. All new, renewed, and amended leases, permits or other agreements awarded by the city allowing any person to use city property or operate a mobile food facility shall require compliance with the prohibition.
- D. The above subsections A, B and C of this Section 5.05.020 shall go into effect November 1, 2020.

5.05.040 Use of City Funds for Purchase of Bottled Beverages and Packaged Water.

- A. Effective May 1, 2020, no city officer, department or agency (collectively, department) shall use city funds to purchase plastic bottled beverages or packaged water for its own general use. A department may use city funds to purchase those products for uses specifically exempted from or allowed under this Chapter.
- B. The above subsection A, of this Section 5.05.020 shall not apply to restrict the purchase of water in aluminum cans or glass bottles.

5.05.050 Exclusions.

- A. The provisions of sections 5.05.020 and 5.05.030 shall not apply:
 - 1. When the city manager finds that relying on bottled water, packaged water or bottled beverages is necessary in a given situation to protect the public health, safety and welfare, and no reasonable alternative to packaged water will serve the same purpose; or
 - 2. To emergencies; or

3. To the distribution of bottled beverages to participants of a participant athletic event.

5.05.060 Implementation.

- A. The city manager or his or her designee may waive the provisions of this Chapter in full or in part if:
 1. The event sponsor or lessee demonstrates a feasibility based hardship; or
 2. The event sponsor or lessee demonstrates compliance is unreasonably financially prohibitive; or
 3. The event sponsor or lessee demonstrates that strict application of the specific requirement would create an undue hardship, or practical difficulty, not generally applicable to other persons in similar circumstances, and good cause is shown.
- B. A person seeking a waiver under subsection A must submit a written application on a form approved by the city manager. The city manager may require the applicant to submit additional information or documentation to make a determination regarding the waiver requested. The city manager shall review requests for waivers on a case-by-case basis, and may grant the waiver in whole or in part, with or without conditions, for a period of up to twelve (12) months. An applicant for renewal of a waiver must apply for a new waiver period no later than sixty (60) days prior to the expiration of the then-current period to preserve a continuous waiver status. The city manager shall review each application anew and base his or her determination on the most current information available. Waiver determinations are effective immediately, final and not appealable. The city council may by resolution establish a fee for waiver determinations in an amount sufficient to cover the costs to administer the application.

5.05.070 Enforcement and penalties.

- A. The city manager, or his or her designee, is authorized to establish regulations and to take any and all actions reasonable and necessary to obtain compliance with this chapter.
- B. Any person violating this chapter shall be guilty of an infraction, which shall be punishable by a fine in accordance with Chapter 1.16 of the Solana Beach Municipal Code, or a misdemeanor, which shall be punishable by a fine not exceeding one thousand dollars, or by imprisonment in the County Jail for a period not exceeding six months or by both such fine and imprisonment. In addition to criminal fines, any person violating this chapter shall also be subject to civil penalties or administrative fines or both under Chapters 1.16 and 1.18 of the Solana Beach Municipal Code.

- C. The city attorney may seek legal, injunctive, or other equitable relief to enforce this chapter.
- D. Administrative enforcement of this chapter shall proceed pursuant to Chapter 1.18 of the Solana Beach Municipal Code.
- E. Each violation of this chapter shall be considered a separate offense.
- F. The remedies and penalties provided in this section are cumulative and not exclusive, and nothing in this chapter shall preclude any person from pursuing any other remedies provided by law.
- G. Notwithstanding any other provision of this chapter, this chapter may be enforced through any remedy as provided for in this section upon its effective date.

Section 4. The City Council finds that this Ordinance is exempt from the provisions of the California Environmental Quality Act ("CEQA") pursuant to Section 15308 of the CEQA Guidelines because it is an activity undertaken "to assure the maintenance, restoration, enhancement and protection of the environment" and pursuant to Section 15061(b)(3) because there is no possibility that the activity in question may have a significant effect on the environment.

Section 5. Severability. If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Chapter, or its application to any person or circumstance, is for any reason held to be invalid or unenforceable, such invalidity or unenforceability shall not affect the validity or enforceability of the remaining sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases of this Chapter, or its application to any other person or circumstance. The City Council declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause or phrase hereof, irrespective of the fact that any one or more other sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases hereof be declared invalid or unenforceable.

Section 6. Effective Date. This Ordinance shall take effect thirty (30) days after its adoption. Within fifteen (15) days after its adoption, the City Clerk of the City of Solana Beach shall cause this Ordinance to be published pursuant to the provisions of Government Code Section 36933.

INTRODUCED at a regular meeting of the City Council of the City of Solana Beach, California held on the _____ day of August 2019, and thereafter,

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, on the ____ day of _____ 2019, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

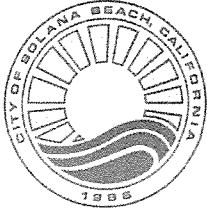
DAVID ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: City Attorney's Office
SUBJECT: Adoption Ordinance No. 505 – Amending Chapter 7.20 of the Solana Beach Municipal Code to Add a New Section 7.20.030, Relating to the Safe Storage of Firearms

BACKGROUND:

Gun violence is a major public health issue. Having a firearm in a home that is easily accessible to children, those struggling with mental health issues, and criminals, increases firearm related injuries, deaths and crimes. Research indicates that these risks are minimized when unattended firearms are locked up or disabled with a trigger lock.

The purpose of the proposed Ordinance is to protect the health and safety of the public by requiring firearms to be safely stored unless they are under the control of the owner, thereby preventing firearm access by those who are not the owner or authorized user of a firearm and reducing the number of firearm-related injuries, deaths and crimes.

On August 28, 2019, the City Council introduced Ordinance 505 amending Chapter 7.20 of the Solana Beach Municipal Code (SBMC) adding a new section 7.20.030 requiring people who keep firearms in their residences to store them in locked containers or disable them with a trigger lock.

This item is before the City Council for adoption of Ordinance 505.

DISCUSSION:

As introduced, Ordinance 505 does not substantially burden the right or ability of owners to use firearms for self-defense in the home. The locking requirements in this Ordinance apply only to firearms that are not being carried on the person or in the person's immediate control.

COUNCIL ACTION:

The proposed Ordinance also encourages owners of firearms to report lost or stolen firearms to law enforcement. A person who reports a firearm lost or stolen with a law enforcement agency will not be subject to prosecution for violation of the Ordinance for the firearm that is reported lost or stolen. The Ordinance addresses the very real risks posed by unsecured firearms in the home. It will help prevent accidental shootings, teen suicides, and firearm thefts from homes during burglaries. This Ordinance will preserve the peace and protect the public health, safety and general welfare of the residents of the City of Solana Beach by reducing firearms-related injuries and crime.

CEQA COMPLIANCE STATEMENT:

The action being considered by the City Council is exempt from the California Environmental Quality Act (CEQA) because it is not a “project” under Section 15378(b)(5) of CEQA Guidelines.

FISCAL IMPACT:

There is no anticipated fiscal impact associated with this item.

WORK PLAN:

N/A

OPTIONS:

- Adopt Ordinance 505 amending SBMC Chapter 7.20 to add a new section 7.20.030, relating to the safe storage of firearms.
- Do not adopt Ordinance 505.
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Ordinance 505 amending SBMC Chapter 7.20 to add a new section 7.20.030, relating to the safe storage of firearms.

CITY MANAGER’S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Ordinance 505

ORDINANCE 505

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA AMENDING CHAPTER 7.20 OF THE SOLANA BEACH MUNICIPAL CODE TO ADD NEW SECTION 7.20.030, RELATING TO SAFE STORAGE OF FIREARMS

WHEREAS, the City of Solana Beach has authority to enact laws that protect the public health, safety and general welfare of its residents pursuant to the police power delegated to it by the California Constitution; and

WHEREAS, having a firearm in the home that is easily accessible to children, those struggling with mental health issues, and criminals, increases firearm related injuries, deaths, and crimes, creating significant local and national public health impacts; and

WHEREAS, research indicates that these impacts are reduced when firearms are locked up or disabled with a trigger lock (secured); and

WHEREAS, firearm-related deaths in the United States are the second leading cause of injury-related deaths in children between the ages of 1 and 17, surpassed only by motor vehicle injury deaths; and

WHEREAS, it is estimated that 4.6 million children in the United States live in a home with unsecured firearms; and

WHEREAS, studies show that unsecured firearms are frequently accessible to and accessed by young children, even when their parents believe their firearms are not accessible; and

WHEREAS, 73% of children ages 9 and under reported knowing the location of their parent's firearms, and 36% of those children admitted that they had handled the firearms, including children whose parents had reported their children did not know the location of their firearms; and

WHEREAS, evidence shows that the presence of a firearm in a home with children substantially increases the risk of suicide and accidental shootings, but that these risks are lower in homes where firearms are secured; and

WHEREAS, firearms were the leading cause of suicides in San Diego County from 1988 through 2016, overtaking intentional overdose/poisoning, hanging/asphyxia, jumping, and other causes; and

WHEREAS, between 2007 and 2016, San Diego County's suicide rate among those aged 18 years or younger was higher than the California state rate; and

WHEREAS, the San Diego County Suicide Prevention Council found that San Diego County's suicide rate between 2016 and 2017 increased 5% from 13.1 to 13.8 per population of 100,000; and

WHEREAS, suicide attempts often are impulsive acts, with one study finding that 24% of nearly lethal suicide attempts by individuals 13 to 34 years of age occurred within five minutes of their decision to attempt suicide; and

WHEREAS, secured firearms impede the opportunity for impulsive suicide attempts, giving suicidal individuals time to contact family, friends, and health-care professionals, and giving others time to react; and

WHEREAS, data between 2004 and 2014 from the Centers for Disease Control shows that among minors between the ages of 10 and 17, firearms were used in just 9% of youth suicides in Massachusetts, a state that has child firearm access prevention laws, compared to 39% of youth suicides nationally, and that the overall suicide death rate among youth in Massachusetts is 35% below the national average; and

WHEREAS, an April 2019 study of pediatric gunshot wounds identified children ages 0- 15 years who were admitted to a Houston trauma center from 2001 to 2016 and concluded that many of the gun shot injuries could have been prevented with safe firearm storage, increased community education efforts, and other safety measures; and

WHEREAS, the RAND Corporation analyzed scientific literature on firearm laws and concluded that child firearm access prevention laws reduce firearm self-injuries (including suicides) and unintentional firearm injuries and deaths among children; and

WHEREAS, in 2012, the United States Department of Justice, Bureau of Alcohol, Tobacco, Firearms and Explosives (ATF), reported that lost and stolen firearms pose a substantial threat to public safety and to law enforcement; and

WHEREAS, requiring the safe storage of firearms will reduce the number of firearms stolen during household burglaries or other property crimes, as about 93% of firearm thefts between 2005 and 2010 occurred during property crimes; and

WHEREAS, in 83% of burglaries and 85% of other property crimes that involved a stolen firearm, none of the stolen firearms had been recovered; and

WHEREAS, lost and stolen firearms are used to commit violent crimes, are often bought and sold in an unregulated secondary market where law enforcement is unable to trace transactions, and are transferred to others who commit crimes or are prohibited by law from possessing a firearm; and

WHEREAS, recent data shows that in San Diego County one in five robberies involved a firearm, and a firearm was used in 55% of homicides; and

WHEREAS, according to a SANDAG report, in 2017, firearms were used in 53% of homicides, 18% of robberies, and 12% of aggravated assaults in the San Diego region, and only 1 in 4 adult arrestees reported that they got the firearm they carried from a store or retail establishment; and

WHEREAS, states that require firearms to be secured have a firearm theft rate below the national average; and

WHEREAS, the National Rifle Association (NRA) safety rules instruct gun owners to store guns so they are not accessible to unauthorized persons; and

WHEREAS, the California Attorney General advocates for secure storage of firearms using safety devices, such as a trigger lock or cable lock, or locked containers, such as a lock box or a gun safe; and

WHEREAS, the International Association of Chiefs of Police advocates for responsible firearms owners to secure their firearms from theft and from misuse by using safes, trigger locks, and monitored alarm systems; and

WHEREAS, this Ordinance requires firearms to be secured with trigger locks, in a locked container, on the person, or in the person's immediate control, and does not substantially burden a person's right or ability to use firearms for self-defense in the home; and

WHEREAS, this Ordinance applies only to firearms that are not being carried on the person or in the person's immediate control; and

WHEREAS, under this Ordinance, a person may carry loaded and unlocked firearms in the home at any time, and loaded firearms may be securely stored; and

WHEREAS, the Legislature of the State of California has not, expressly or by implication, preempted the regulation of safe residential firearm storage; and

WHEREAS, the Council of the City of Solana Beach finds that this Ordinance addresses the risks posed by unsecured firearms in the home and will help prevent accidental shootings, teen suicides, and residential firearm thefts; and

WHEREAS, the Council of the City of Solana Beach finds and declares that this Ordinance will preserve the peace and protect the public health, safety, and general welfare of the residents of the City of Solana Beach by reducing firearms-related injuries and crime; and

WHEREAS, the Council of the City of Solana Beach further finds it is within its police power to implement and enforce the provisions of this Ordinance.

NOW THEREFORE, the City Council of the City of Solana Beach does ordain as follows:

Section 1. All of the above statements are true and incorporated herein as findings.

Section 2. The City Council finds that this action is not a project under the California Environmental Quality Act ("CEQA") because there is no development or physical change that would result from the adoption of this ordinance.

Section 3. Section 7.20.030 is hereby added to Title 7, Chapter 7.20 of the Solana Beach Municipal Code to read as follows:

7.20.030 Residential Safe Storage of Firearms.

A. Purpose and Intent. It is the purpose and intent of this section that the storage of *firearms in residences* within the City of Solana Beach be regulated for the protection and health of the public and to prevent *firearm* access by a *person* who is not the *authorized user* of a *firearm*.

B. Definitions. For the purposes of this section, defined terms appear in italics. The following definitions apply in this section:

1. *Accessory structure* has the same meaning as in Solana Beach Municipal Code section 17.08.030.

2. *Authorized user* means a person who is not prohibited from owning or possessing a firearm.

3. *Firearm* means any weapon from which a missile, such as, but not limited to, a bullet, ball, or shell, is hurled by an explosive.

4. *Locked container* has the same meaning as in California Penal Code section 16850.

5. *Person* has the same meaning as in Solana Beach Municipal Code section 17.08.030.

6. *Residence* means any structure intended or used for human habitation including, without limitation, houses, townhouses, condominiums, apartments, and mobilehomes.

7. *Structure* has the same meaning as in Solana Beach Municipal Code section 17.08.030.

8. *Trigger lock* means a firearm safety device approved by the California Department of Justice Bureau of Firearms in accordance with California Penal Code section 23635.

C. Prohibition. It is unlawful for any *person* to keep a *firearm* within any *residence*, including its *accessory structures*, unless the *firearm* is stored in a *locked container* or disabled with a *trigger lock*.

D. Exceptions. Subsection C shall not apply in the following circumstances:

1. the *firearm* is carried on the body of a *person* who is an *authorized user* of the *firearm*, or

2. the *firearm* is in the immediate control of the *authorized user* so that the *person* can readily retrieve and use the *firearm* as if carried on the *person's* body.

E. Reporting Lost or Stolen *Firearms*. In order to encourage reports to law enforcement agencies of lost or stolen *firearms*, a *person* who files a report with a law enforcement agency notifying the agency that a firearm has been lost or stolen shall not be subject to prosecution for violation of this section for the *firearm* that is reported lost or stolen.

Section 4. Severability. In the event that any court of competent jurisdiction holds any section, subsection, paragraph, sentence, clause or phrase in this Ordinance to be unconstitutional, preempted or otherwise invalid, the invalid portion shall be severed from this Ordinance and shall not affect the validity of the remaining portions of this Ordinance. The City hereby declares that it would have adopted each section, subsection, paragraph, sentence, clause or phrase in this Ordinance irrespective of whether any one or more sections, subsections, paragraphs, sentences, clauses or phrases in this Ordinance might be declared unconstitutional, preempted or otherwise invalid.

Section 5. Conflicts with Prior Ordinances. In the event that any City ordinance or regulation, in whole or in part, adopted prior to the effective date of this Ordinance, conflicts with any provisions in this Ordinance, the provisions in this Ordinance will control.

EFFECTIVE DATE: This Ordinance shall be effective thirty (30) days after its adoption. Within fifteen (15) days after its adoption, the City Clerk of the City of Solana Beach shall cause this Ordinance to be published pursuant to the provisions of Government Code Section 36933.

INTRODUCED AND FIRST READ at a regular meeting of the City Council of the City of Solana Beach, California, on the 28th day of August, 2019; and

THEREAFTER ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, on the 25th day of September, 2019, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: September 25, 2019
ORIGINATING DEPT: City Clerk's Office
SUBJECT: **Citizen Commission Vacancies: Climate Action Commission and Public Arts Commission Appointments**

BACKGROUND:

This item is before the City Council to discuss and appoint a community member to serve out the remainder of two existing terms due to member resignations. There is one vacancy on the Climate Action Commission (CAC) and one vacancy on the Public Arts Commission (PAC). Sarah Richmond resigned from the Climate Action Commission, leaving a professional position vacant and Jeffrey McMillan resigned from the Public Arts Commission leaving a resident position vacant. Both vacancies have a term ending January 2020, when these positions will be up for re-appointment.

DISCUSSION:

Appointments to City Commissions and Committees are conducted in accordance with Council Policy No. 5 - *Appointment of Private Citizens to Committees, Boards, Task Forces* (Attachment 2). Per Resolution 2015-127, members of the Climate Action Commission are all appointed by the Council-at-large. Therefore, the nomination may be made by any Councilmember and a majority vote of the City Council is required for appointment.

Noticing

On September 5, 2019, the City Clerk posted a Notice of Vacancy (Attachment 1), per Government Code 54974(a), with an application deadline of September 17th, in an effort to refill the position and bring the Commissions to full membership as quickly as possible. Recruitment notices were posted on the City's Official bulletin board, the City's website, and emailed twice via e-blast notice.

Applicant Submittals

As of the preparation of this report, the list of applications received by the deadline are listed on Attachment 3. These contain applicants for the Climate Action Commission. No applications were received for the Public Arts Commission; therefore, this vacancy has been reposted with an extended application date. If applications are received after the

CITY COUNCIL ACTION:

deadline they will be not be forwarded as Council had recently determined to no longer consider late applications.

Applications

An applicant status list (Attachment 3) is provided with this report. Applications are not posted online, but were submitted to Council for review and are available for public viewing at the City Clerk's Office.

CEQA COMPLIANCE STATEMENT: Not a project as defined by CEQA.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:


- Make an appointment to the vacancy.
- Extend the deadline for submittal of additional applications.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider the application(s) submitted and appoint (by Council-at-large) a member to the professional position on the Climate Action Commission with a term expiration date of January 2020.

CITY MANAGER'S RECOMMENDATION:

Approve Department recommendation.



Gregory Wade, City Manager

Attachment:

1. Vacancy Notice
2. Council Policy No. 5
3. List of Applicants
4. Applications

CITY OF SOLANA BEACH RESIDENT VOLUNTEERS



PUBLIC NOTICE of Commission Vacancy

Opportunity to serve on a Solana Beach Citizen Commission

NOTICE IS HEREBY GIVEN, pursuant to California Government Code §54974 that an unscheduled vacancy exists for the following:

PUBLIC ARTS COMMISSION - one term expiring January 2020. This Commission participates in reviewing certain matters regarding community art opportunities and conducts certain City events.

Appointment: This appointment would complete the remaining period of a current term, which will expire January 2020. If you are appointed and interested in continuing beyond the expired term, you will need to re-apply for appointment. This position is appointed by *Council-at-large* upon a majority approval of the City Council.

Application Requirements: Seven members. **Members must be at least 18 years old and a city resident within the City of Solana Beach.** All members are appointed by the Council At-Large. Each position is a two-year term.

Meetings: Currently the regularly scheduled meeting of this group is on the fourth Tuesday of each month at 5:30 p.m. at City Hall. The first regularly scheduled meeting of this Commission following this pending appointment date is scheduled for October 22, 2019, or any Special Meeting that might be called before then.
Staff Liaison – Kayla Moshki 858-720-2438

CLIMATE ACTION COMMISSION - one term expiring January 2020. This Commission assists in implementing the City's Climate Action Plan, including updating the City's Greenhouse Emissions Inventory, setting reduction targets, implementing mitigation measures and performing periodic monitoring, verification and evaluations.

Appointment: This appointment would complete the remaining period of a current term, which will expire January 2020. If you are appointed and interested in continuing beyond the expired term, you will need to re-apply for appointment. This position is appointed by *Council-at-large* upon a majority approval of the City Council.

Application Requirements: Nine members. (5-residents, 2-professionals, 2-City Councilmembers) **Members must be at least 18 years old and a city resident within the City of Solana Beach.** All members are appointed by the *Council At-Large*. Each position is a two-year term.

Meetings: Currently the regularly scheduled meeting of this group is on the 3rd Wednesday of each month at 6:00 p.m. at City Hall. The first regularly scheduled meeting of this Commission following this pending appointment date is scheduled for October 16, 2019, or any Special Meeting that might be called before then.
Staff Liaison – Dan King 858-720-2477

Application Deadline: Applications are being accepted through Tuesday, September 17, 2019, at 5:00 p.m. The Appointment will be scheduled to take place at the October 9, 2019 City Council Meeting.

Citizen Interest Forms/Applications and a summary of all requirements (SBMC 2.60) and duties can be obtained on the City's Website at www.cityofsolanabeach.org (click on city government, city clerk, citizen commissions), or by contacting the front desk at City Hall, 635 S. Highway 101, Solana Beach, (858) 720-2400. If you have questions about this appointment process or member requirements, please contact Angela Ivey, City Clerk, OR if you have specific questions about the Commissions, contact the Commission Liaisons noted above.

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that I caused to be posted the foregoing Notice on Thursday, September 5, 2019 pursuant to the requirements of the California Government Code.
Angela Ivey, City Clerk

CITY OF SOLANA BEACH	Policy No. 5
COUNCIL POLICY	Adopted: May 15, 1989 Revised: January 23, 2008 by Resolution 2008-23
GENERAL SUBJECT: Citizen Boards, Commissions & Committees	
SPECIFIC SUBJECT: Appointments of Citizens to Boards, Commissions, Committees and Task Forces.	

PURPOSE:

The purpose of this policy is to establish a consistent process and procedure for appointments to City sponsored Citizen Boards, Commissions, Committees and Task Forces.

POLICY STATEMENT:

Appointments to Citizen Boards, Commissions, Committees and Task Forces are made in accordance with the municipal code and/or specific guideline, as provided, to provide consistency.

POLICY PROCEDURES:

1. All private citizens interested in serving on any Board, Commission, Committee or Task Force or similar group must complete and file with the City Clerk a Citizen Interest Form (application) which may be obtained from the City Clerk's office.
2. Nominations
Councilmembers may nominate private citizens for appointment subject to ratification by a majority of the City Council. Such ratification shall take place at a regular City Council meeting and a duly docketed agenda item.
3. Appointment Protocol
 - a. Appointments will be made in accordance with municipal code requirements. For example, the municipal code may require that a Commission have five positions appointed by individual Councilmembers.
 - b. Appointments that are not outlined in the municipal code and are at-large appointment positions may be nominated by any Councilmember. In the event of multiple appointments, appointments may be divided among individual Councilmembers to share the appointment responsibilities. If the appointments are

shared, it will be for that one time and will not be construed as official individual appointments that would carry forward.

- c. The decision to proceed with an individual appointment alternative for at-large positions will be subject to majority vote of the City Council with such vote taking place at a regular City Council Meeting.

4. Appointments to Outside Agencies

When the City is asked by an outside agency to recommend a private citizen to serve on a Board, Commission, Committee or Task Force or similar group, such recommendation shall be made by the Council and approved by a majority vote of the City Council.

**City of Solana Beach
Citizen Commission Members
Appointed by City Council**

Deadline – September 17, 2019 5:30 p.m.

LIST OF APPLICANTS

Climate Action Commission Applicants		Application Received
Last Name	First Name	
Basore	Paul	9-1-19
Mann	Jessica	9-17-19
Manrahan	Meredith	9-17-19

ATTACHMENT 4

Applications

***This attachment is available for
viewing at the City Clerk's Office***

City of Solana Beach
635 S. Highway 101, Solana Beach, CA 92075
858-720-2400



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: City Attorney's Office
MEETING DATE: September 25, 2019
ORIGINATING DEPT: City Attorney's Office
SUBJECT: **Consideration of the Fourth Amendment to City Manager's Employment Agreement**

BACKGROUND:

On May 22, 2015, the City of Solana Beach ("City") entered into an employment agreement with Gregory Wade as City Manager ("Agreement"). On September 14, 2016, the City entered into the First Amendment to Employment Agreement with City Manager Wade. The Second Amendment to the Employment Agreement was approved on October 11, 2017. The Third Amendment to the Employment Agreement was approved on October 24, 2018.

The item is before the City Council to consider approval of the Fourth Amendment to the City Manager's Agreement.

DISCUSSION:

Upon review and consideration of a merit increase, the Mayor and Deputy Mayor recommends for the City Manager's annual base salary be increased to \$220,662.00 effective July 1, 2019. This salary amount reflects a 2.5% increase. It is also recommended that the annual deferred compensation be increased by \$2,500.00 for a total of \$24,500.00, effective July 1, 2019. Finally, in lieu of increasing the City Manager's vehicle allowance which has remained unchanged during his tenure, it is proposed for the City Manager be authorized to use City provided power to charge his vehicle. The proposed changes are reflected in the Fourth Amendment to the City Manager Employment Agreement as Attachment 2. All other terms would remain in full force and effect.

COUNCIL ACTION:

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The total fiscal impact of the amendment would be an additional \$7,882.00 per year. While undetermined at this time, it is anticipated the power cost would be minimal. There are sufficient funds allocated in the FY 2019/20 budget.

WORK PLAN:

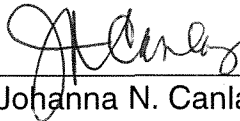
N/A

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments / modifications.
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider and, if acceptable, adopt Resolution 2019-130 authorizing the Mayor to execute the Fourth Amendment to the Employment Agreement between the City of Solana Beach and Gregory Wade to reflect the 2.5% increase in base salary, \$2,500 increase towards Deferred Compensation, and allowing the City Manager to use City provided power to charge his vehicle.



Johanna N. Canlas, City Attorney

Attachments:

1. Resolution 2019-130
2. Fourth Amendment to City Manager Employment Agreement

**FOURTH AMENDMENT TO THE CITY MANAGER
EMPLOYMENT AGREEMENT
between the City of Solana Beach, a municipal
corporation, and Gregory Wade**

This Fourth Amendment to Employment Agreement is entered into this ____ day of August 28, 2019 and is effective as of July 1, 2019, by and between the City of Solana Beach, California, a municipal corporation (hereinafter "City") and Gregory Wade, an individual (hereinafter "Officer") (City and Officer referred to collectively as "Parties") with respect to the employment of Officer as the City Manager of the City.

RECITALS

WHEREAS, on May 22, 2015, the City and Officer entered into the Employment Agreement; and

WHEREAS, on September 14, 2016, the City and Officer entered into the First Amendment to Employment Agreement; and

WHEREAS, on October 11, 2017, the City and Officer entered into the Second Amendment to Employment Agreement; and

WHEREAS, on September 26, 2018, the City and Officer entered into the Third Amendment to Employment Agreement.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the Parties agree as follows:

Section 1. Section 5(A)(1)(a) of the Employment Agreement is hereby amended to read as follows:

5. COMPENSATION

A. Compensation and Required Employer Costs

(1) Base Salary

(a) The annual base salary for the position of City Manager shall be \$220,662.00

Section 2. Section 5(B)(5)(a) is hereby added to read as follows:

Officer is authorized to use City provided power to charge his vehicle.

Section 3. The annual contribution under Section 5(B)(6) is hereby increased to \$24,500.00.

Section 4. The changes as outlined in Sections 1 - 3 above shall be effective as of July 1, 2019.

Section 5. Except as modified herein, all other terms and conditions of the Employment Agreement, First, Second and Third Amendments to Employment Agreement shall remain the same.

IN WITNESS WHEREOF the Parties have executed this Third Amendment to Employment Agreement as of the day and year first above written.

CITY OF SOLANA BEACH

OFFICER

By: _____
David A. Zito, Mayor

By: _____
Gregory Wade

APPROVED AS TO FORM

By: _____
Johanna Canlas, City Attorney

RESOLUTION 2019-130

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE MAYOR TO EXECUTE THE FOURTH AMENDMENT TO THE EMPLOYMENT AGREEMENT BETWEEN THE CITY OF SOLANA BEACH AND GREGORY WADE TO REFLECT 2.5% INCREASE IN BASE SALARY AND \$2,500 INCREASE TOWARDS DEFERRED COMPENSATION

WHEREAS, on May 22, 2015, the City of Solana Beach ("City") entered into a three-year employment agreement with Gregory Wade for City Manager services ("Agreement"); and

WHEREAS, on September 14, 2016, the City and Gregory Wade entered into the First Amendment to Employment Agreement; and

WHEREAS, on October 11, 2017, the City and Gregory Wade entered into the Second Amendment to the Employment Agreement; and

WHEREAS, on September 26, 2018, the Third Amendment to the Employment Agreement was approved; and

WHEREAS, the Agreement provides for annual performance and compensation review; and

WHEREAS, Mr. Wade's performance evaluation was conducted this summer; and

WHEREAS, the City Council has determined that increases to the City Manager's compensation package are merited; and

WHEREAS, the base salary is to be increased by 2.5% and deferred compensation will be increased by \$2500; and

WHEREAS, the Fourth Amendment to the Agreement is necessary to reflect these revisions.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the Mayor to execute the Fourth Amendment to the Employment Agreement between the City of Solana Beach and Gregory Wade.

PASSED AND ADOPTED this 25th day of September, 2019, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk